



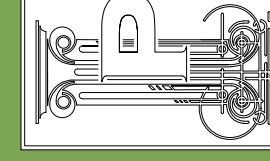
Purpose Developments

Lot 1 - Beech Ave, Hope, B.C.

Project: PN3877

Jan. 21, 2021

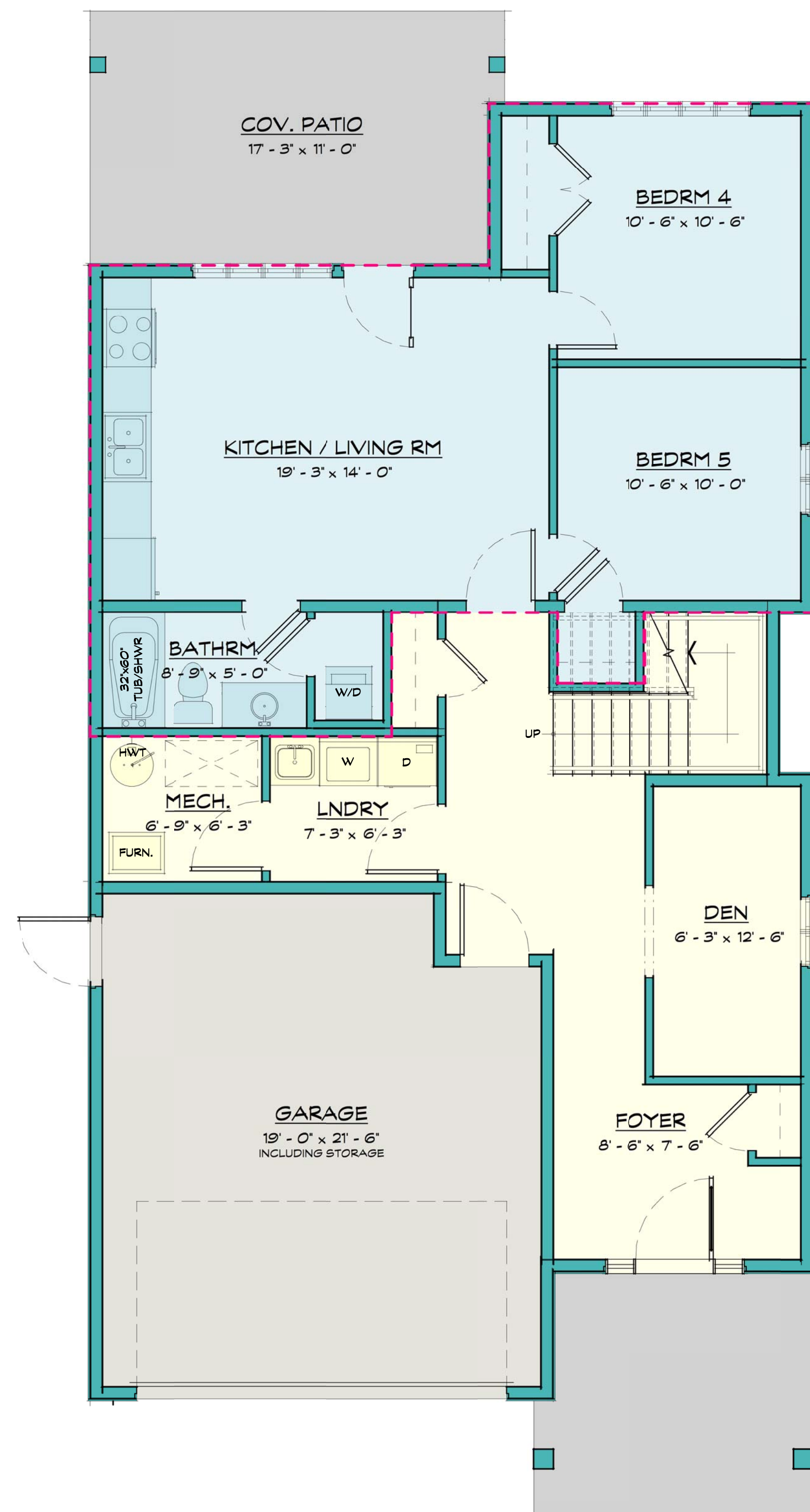
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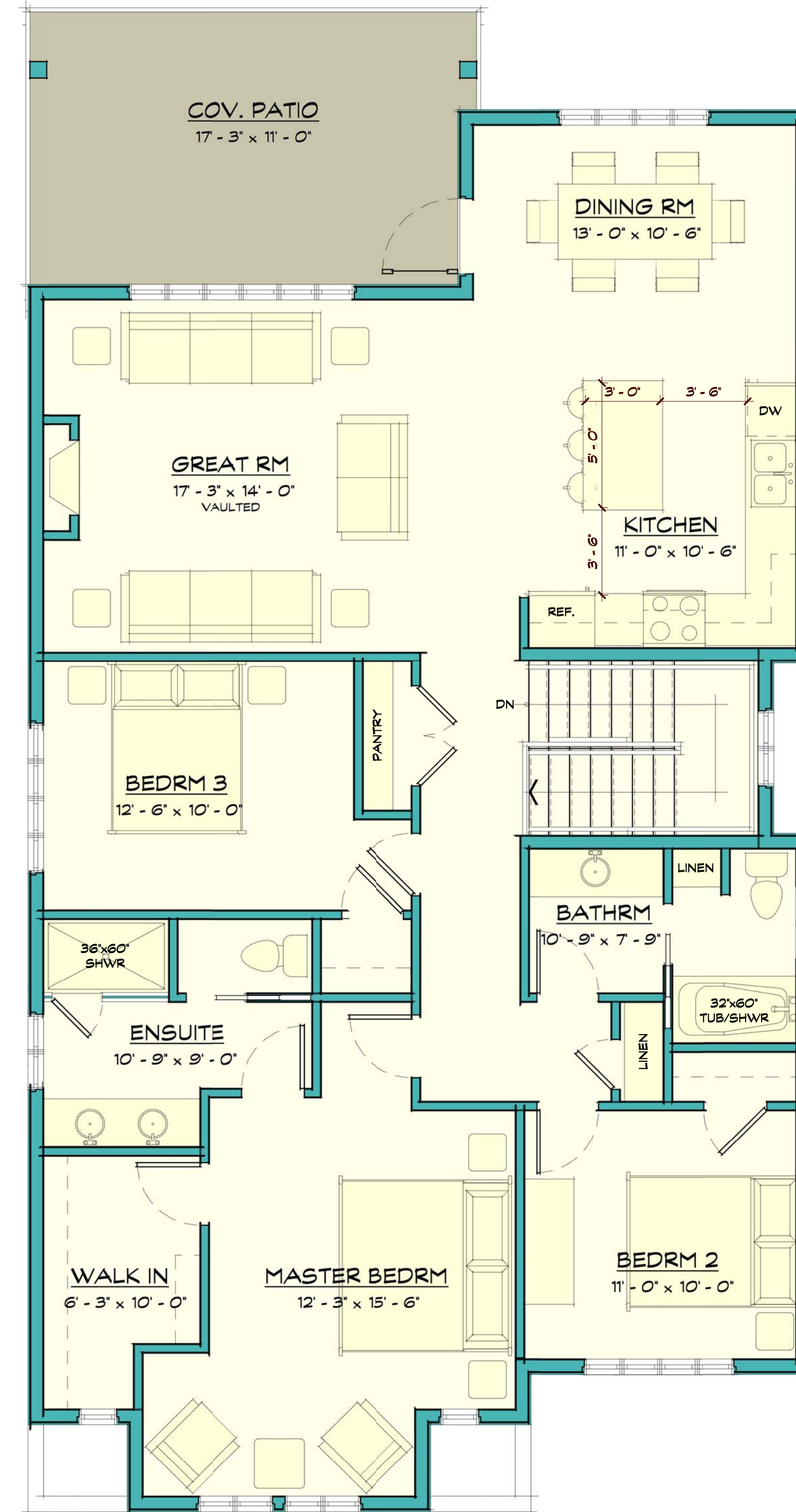
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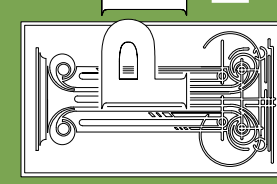
LOWER FLOOR PLAN

- 650 ft² - SUITE AREA
- 495 ft² - LOWER FLOOR AREA INCLUDING STAIRS, EXCLUDING GARAGE
- 1145 ft² - TOTAL LOWER FLOOR AREA, EXCLUDING GARAGE



MAIN FLOOR PLAN

- 1460 ft² - MAIN FLOOR AREA EXCLUDING STAIRS
- 1145 ft² - LOWER FLOOR AREA INCLUDING STAIRS/EXCLUDING GARAGE
- 2605 ft² - TOTAL FLOOR AREA

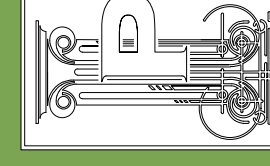




Purpose Developments

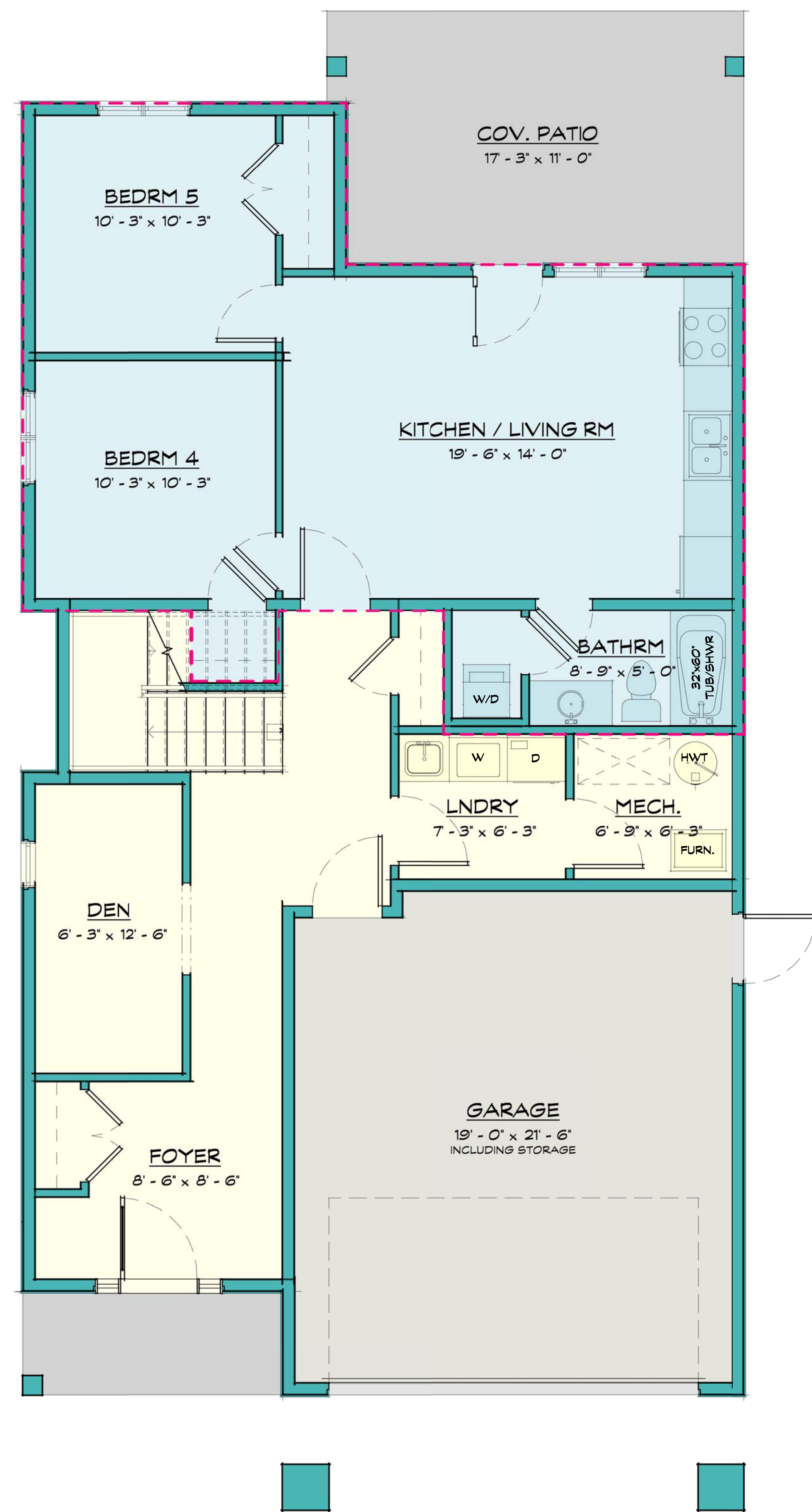
Lot 2 - Beech St, Hope, B.C.
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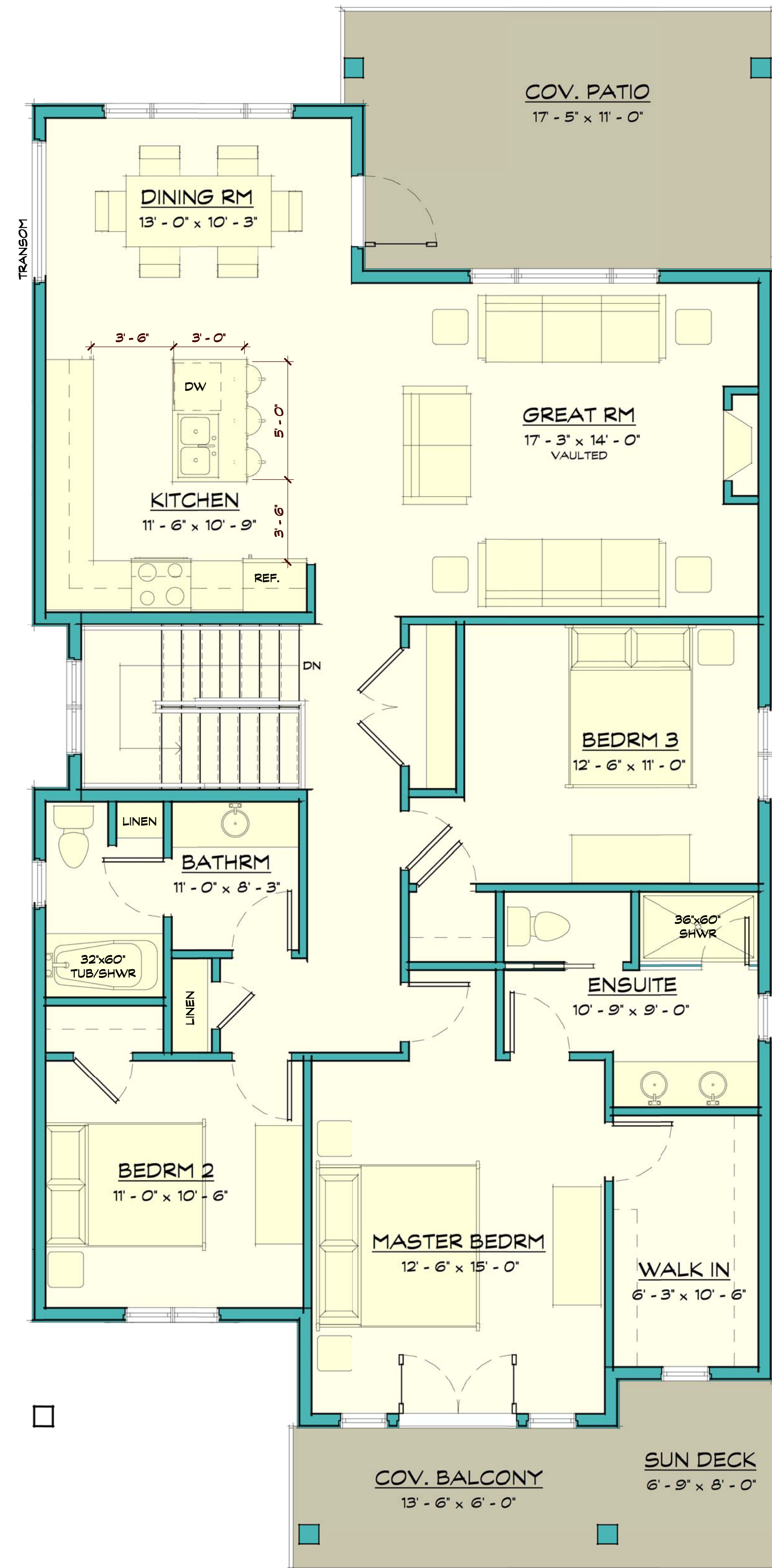
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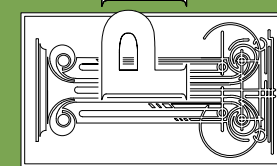
LOWER FLOOR PLAN

650 ft² - SUITE AREA
 495 ft² - LOWER FLOOR AREA, INCLUDING STAIRS, EXCLUDING GARAGE
 1145 ft² - TOTAL LOWER FLOOR AREA, EXCLUDING GARAGE



MAIN FLOOR PLAN

1485 ft² - MAIN FLOOR AREA EXCLUDING STAIRS
 1145 ft² - LOWER FLOOR AREA INCLUDING STAIRS & SUITE, EXCLUDING GARAGE
 2630 ft² - TOTAL FLOOR AREA

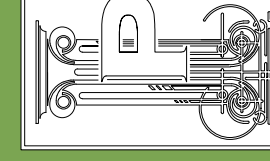




Purpose Developments

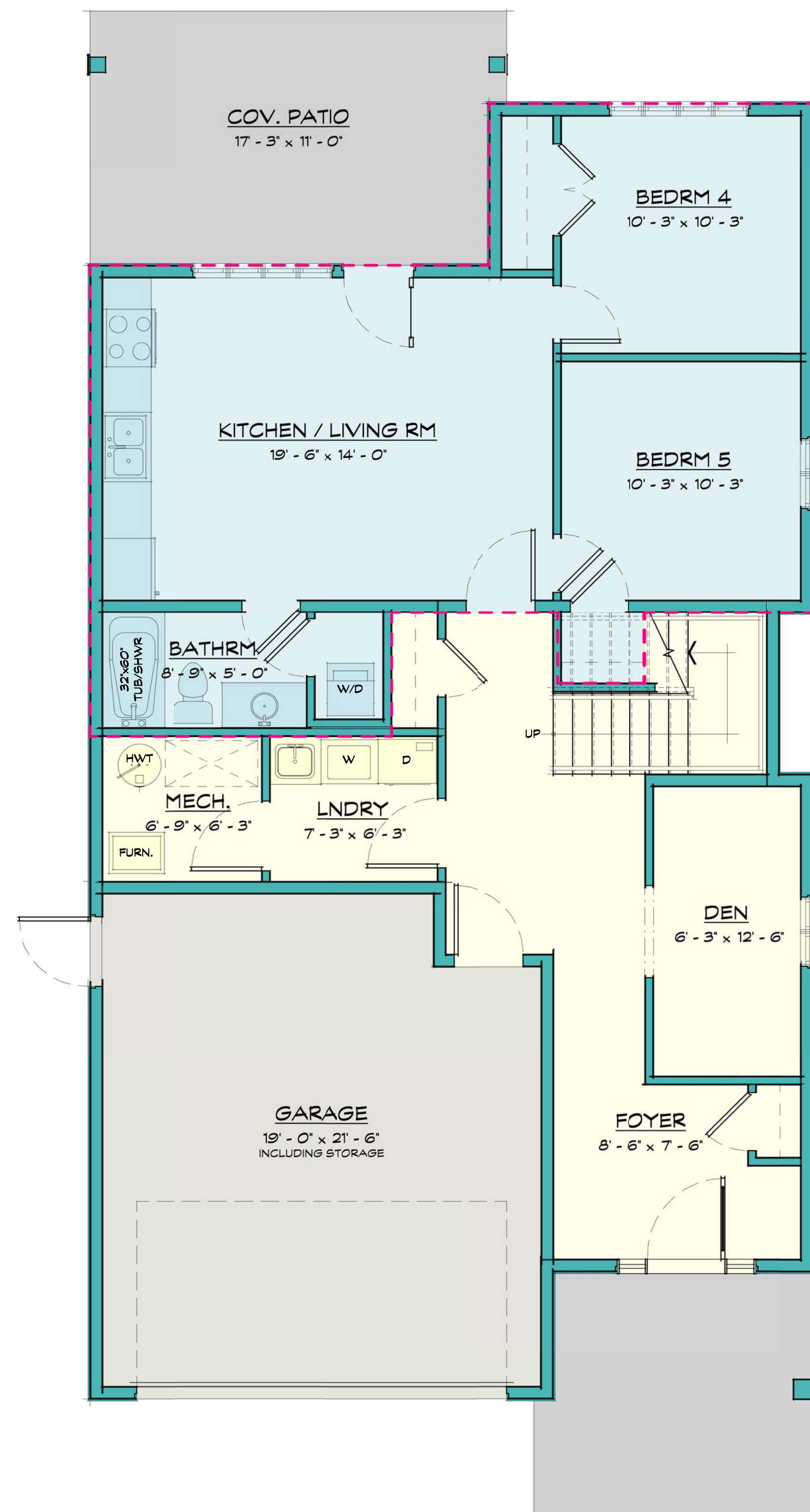
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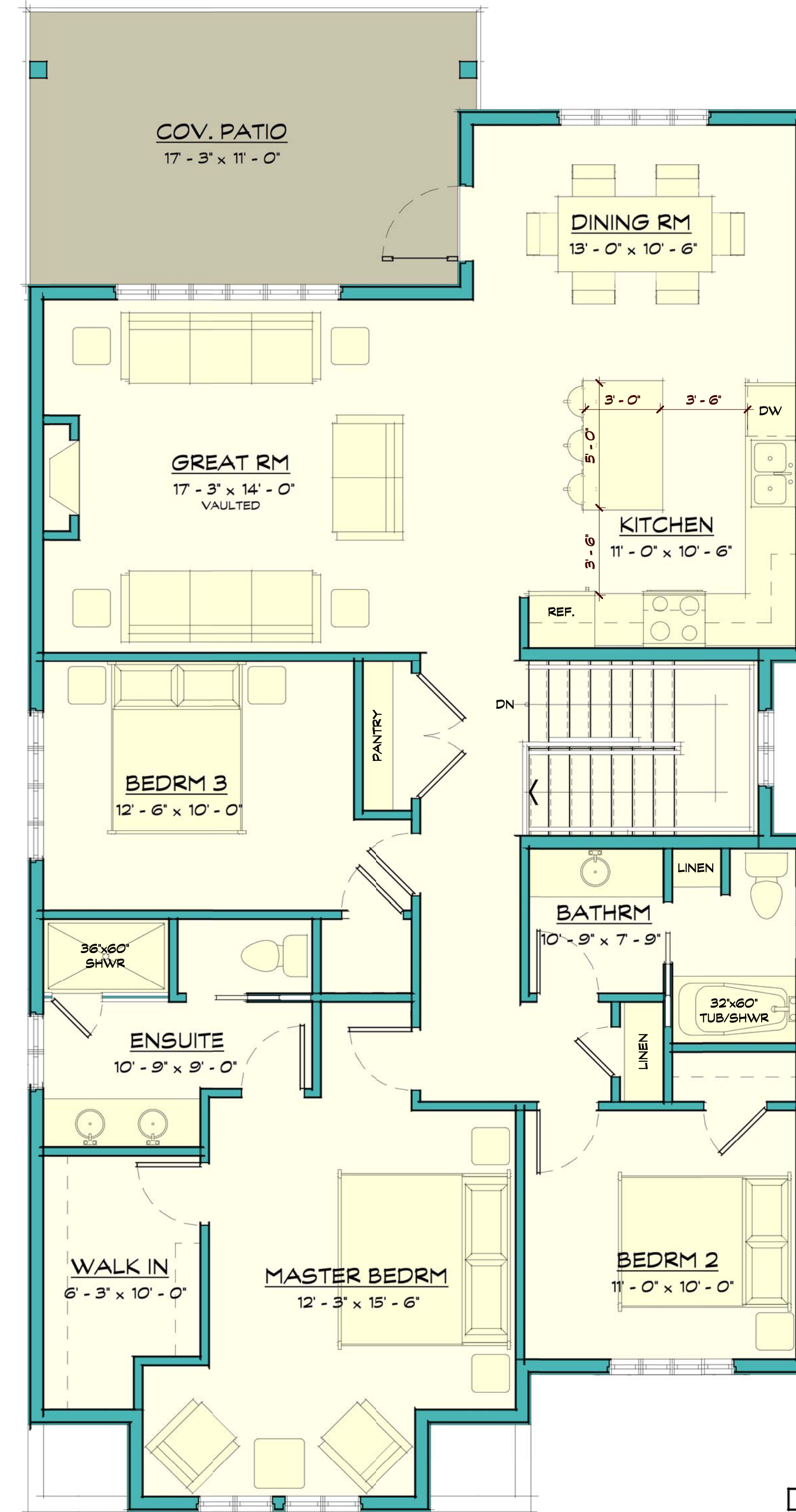
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LOWER FLOOR PLAN

- 650 ft² - SUITE AREA
- 495 ft² - LOWER FLOOR AREA INCLUDING STAIRS, EXCLUDING GARAGE
- 1145 ft² - TOTAL LOWER FLOOR AREA, EXCLUDING GARAGE



MAIN FLOOR PLAN

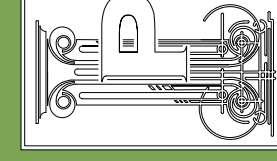
- 1460 ft² - MAIN FLOOR AREA EXCLUDING STAIRS
- 1145 ft² - LOWER FLOOR AREA INCLUDING STAIRS/EXCLUDING GARAGE
- 2605 ft² - TOTAL FLOOR AREA



Purpose Developments

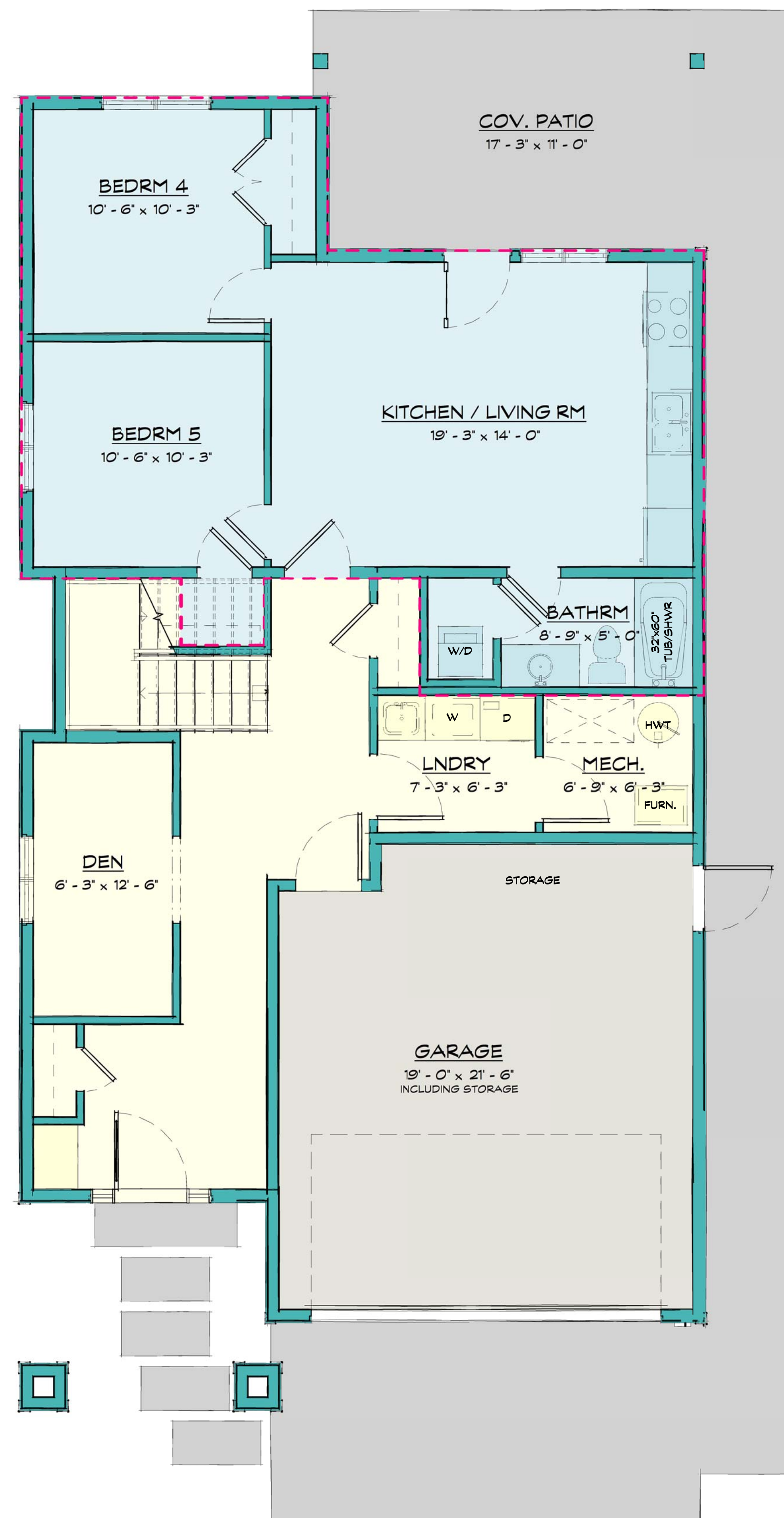
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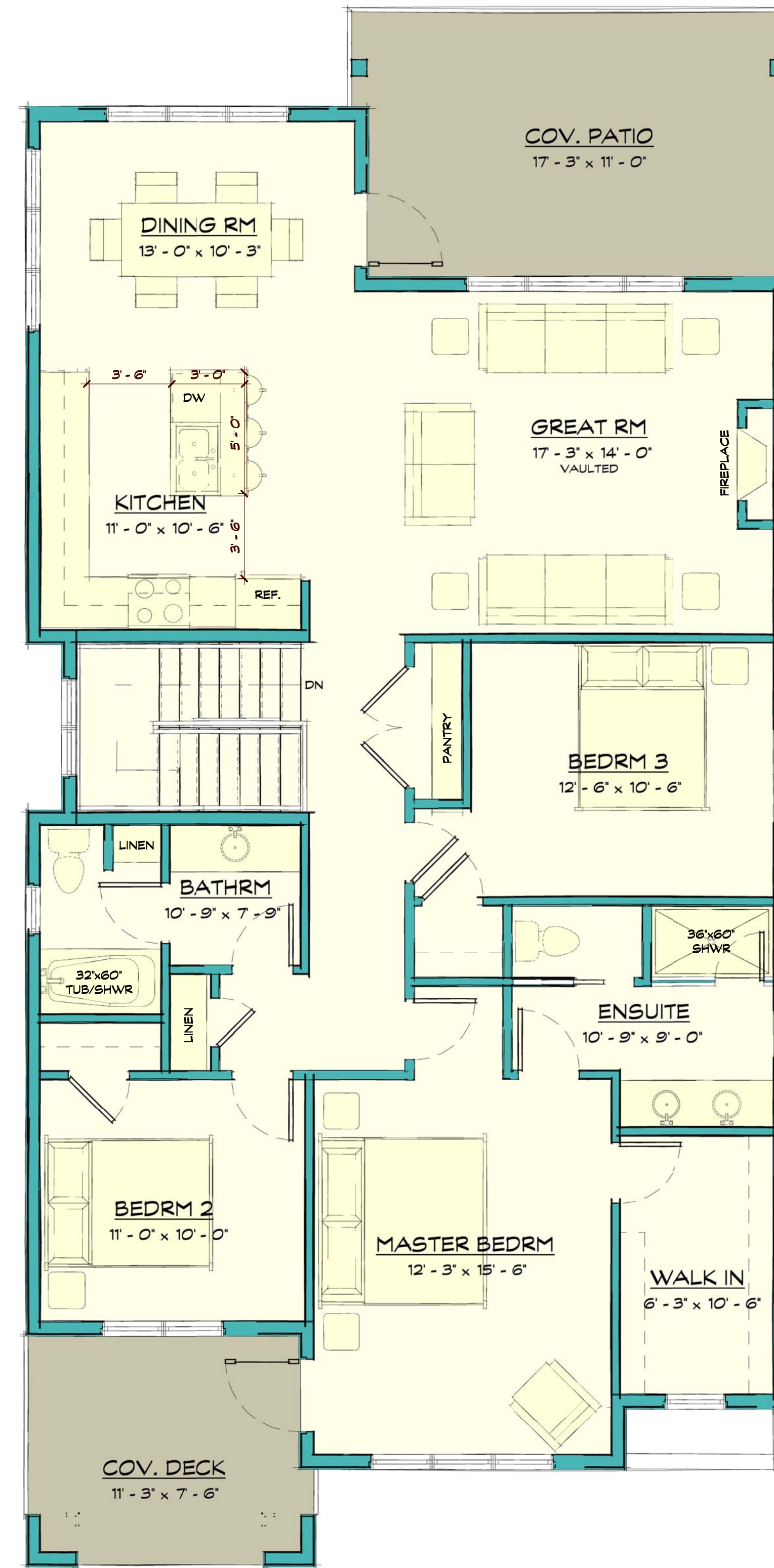
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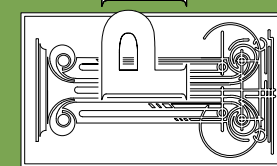
LOWER FLOOR PLAN

- 650 ft² - SUITE FLOOR AREA
- 490 ft² - LOWER FLOOR AREA INCLUDING STAIRS, EXCLUDING GARAGE
- 1140 ft² - TOTAL LOWER FLOOR AREA INCLUDING STAIRS/EXCLUDING GARAGE



MAIN FLOOR PLAN

- 1470 ft² - MAIN FLOOR AREA EXCLUDING STAIRS
- 1140 ft² - LOWER FLOOR AREA INCLUDING STAIRS & SUITE, EXCLUDING GARAGE
- 2610 ft² - TOTAL FLOOR AREA

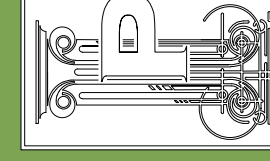




Purpose Developments

Lot 5 - Beech Ave., Hope, B.C.
Project: PN3877
Jan. 21, 2021

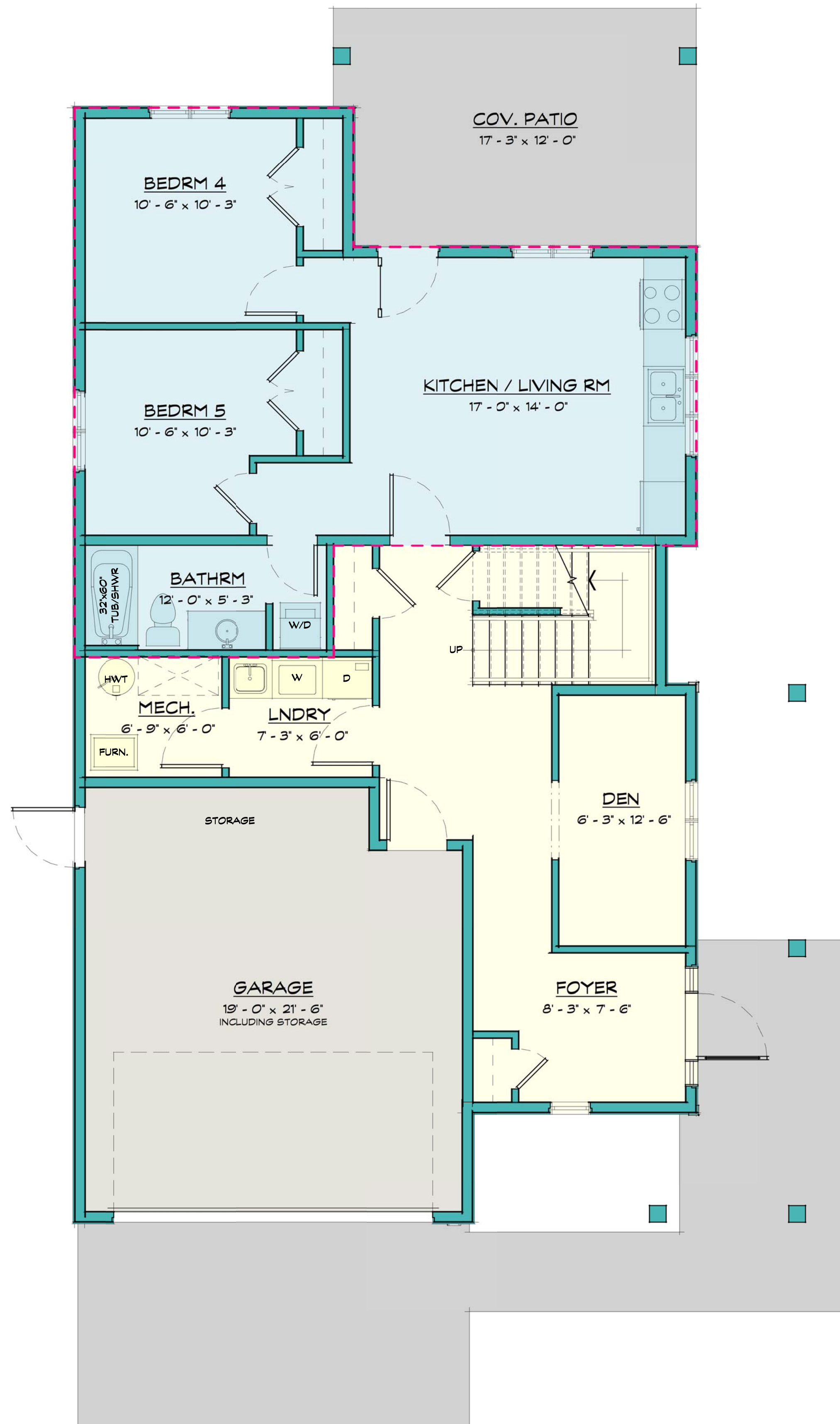
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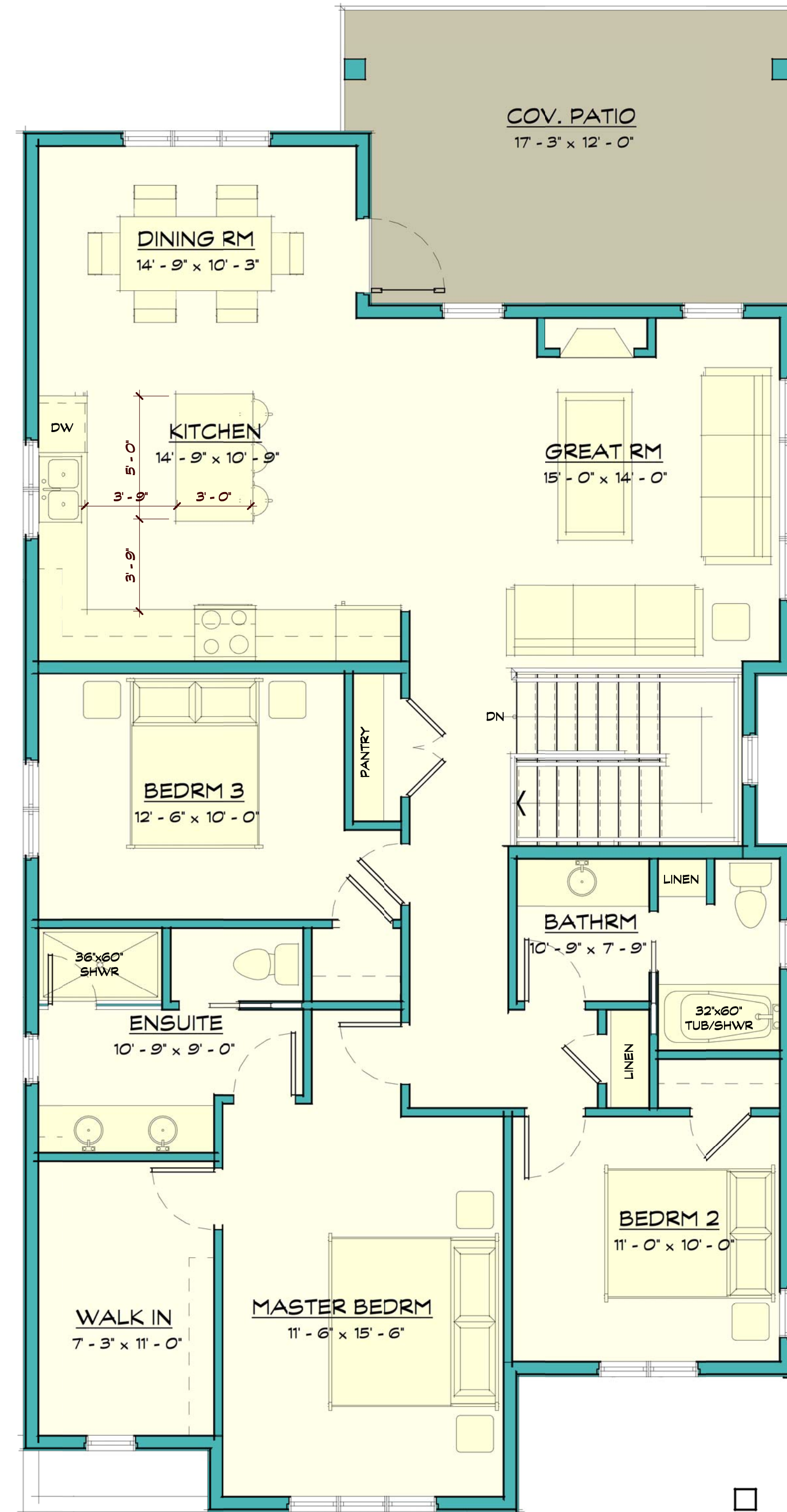


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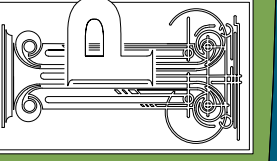
LOWER FLOOR PLAN

- 640 ft² - SUITE AREA
- 505 ft² - LOWER FLOOR AREA INCLUDING STAIRS, EXCLUDING GARAGE
- 1145 ft² - TOTAL LOWER FLOOR AREA, EXCLUDING GARAGE



MAIN FLOOR PLAN

- 1470 ft² - MAIN FLOOR AREA EXCLUDING STAIRS
- 1140 ft² - LOWER FLOOR AREA INCLUDING STAIRS/EXCLUDING GARAGE
- 2610 ft² - TOTAL FLOOR AREA





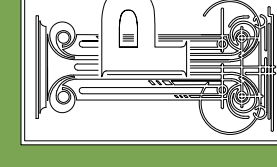
Purpose Developments

Homesite 6 - 20167 Beacon Road, Hope, B.C.

Project: PN3877

Feb. 12, 2021

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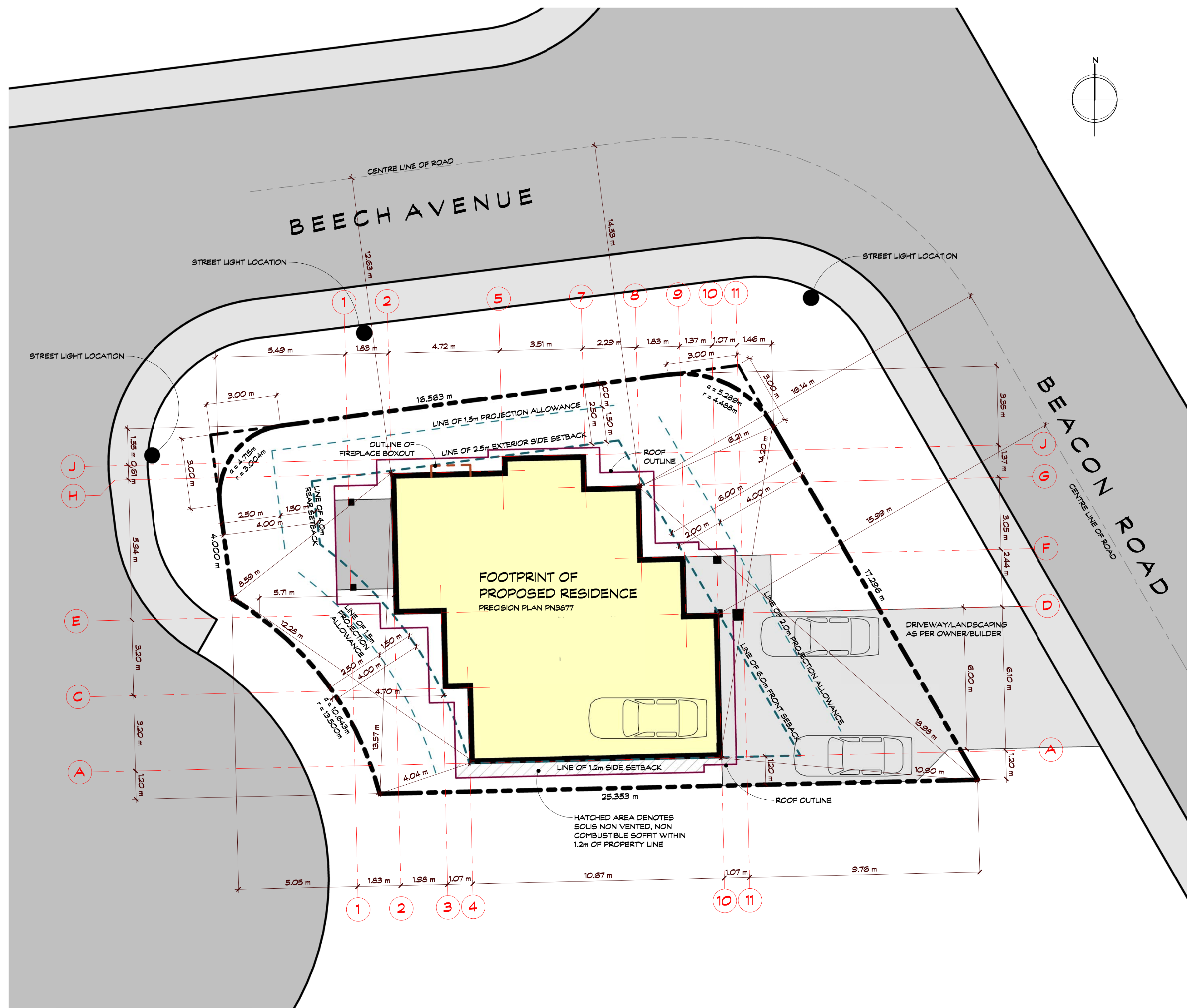


PRECISION

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SITE PLAN
1:100

| ZONING ANALYSIS (RS-2T) | | |
|-------------------------------|---|-------------------|
| EXISTING ZONE | RS-2T | |
| OCF DESIGNATION | USR | |
| DESCRIPTION | COMPACT SINGLE FAMILY RESIDENTIAL w/ SECONDARY SUITE ZONE | |
| PERMITTED USES | SINGLE FAMILY DWELLING w/ SECONDARY SUITE | |
| LOT SIZE | PROP. 417.1 | MIN. 375 |
| LOT DIMENSIONS | | |
| LOT WIDTH (m) | PROP. 20.293 | MIN. 12 |
| LOT DEPTH (m) | PROP. 25.353 | MIN. N/A |
| DENSITY | | |
| DENSITY | PROP. 1 DU | MAX. 1 DU |
| LOT COVERAGE | | |
| LOT COVERAGE (%) | PROP. 35.67% | MAX. 45.00% |
| FLOOR AREA RATIO | | |
| FLOOR AREA RATIO (%) | PROP. N/A | MAX. N/A |
| SETBACKS | | |
| FLL SETBACK (m) | PROP. 6 | MIN. 6 |
| GARAGE SETBACK (m) | PROP. 6 | MIN. 6 |
| RLL SETBACK (m) | PROP. 4 | MIN. 4 |
| ISLL SETBACK (m) | PROP. 1.2 | MIN. 1.2 |
| ESLL SETBACK (m) | PROP. 2.5 | MIN. 2.5 |
| RAILWAY SETBACK (m) | PROP. N/A | MIN. N/A |
| TRANS-CANADA SETBACK (m) | PROP. N/A | MIN. 4.5 |
| SUPPLEMENTARY SETBACK (m) | PROP. N/A | MIN. N/A |
| WATERCOURSES (m) | PROP. N/A | MIN. N/A |
| SITING | | |
| SITING | PROP. N/A | MIN. N/A |
| BUILDING HEIGHT | | |
| BUILDING HEIGHT (m) | PROP. 6.79 | MAX. 10 |
| PARKING | | |
| OFF STREET PARKING | PROP. 3 | MIN. 3 |
| OFF STREET LOADING | | |
| OFF STREET LOADING | PROP. N/A | MIN. N/A |
| AMENITY AREA | | |
| AMENITY AREA | PROP. N/A | MIN. N/A |
| FENCING/SCREENING/LANDSCAPING | | |
| FENCING/SCREENING/LANDSCAPING | AS PER BYLAW | AS PER BYLAW |
| SIGNS | | |
| SIGNS | PROP. AS PER BYLAW | MIN. AS PER BYLAW |
| SPECIAL REGULATIONS | | |
| SPECIAL REGULATIONS | N/A | |
| MISC. NOTES | | |
| MISC. NOTES | N/A | |
| VARIANCE REQUESTS | | |
| N/A | | |

project: Purpose Developments
 HomeSite 6 - 20167 Beacon Road, Hope, B.C.
 drawing title: Construction Permit Drawings
 Site Plan, Zoning Information
 no. 100
 issue/revisions:

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project: PN3877
 scale: AS SHOWN
 designed/checked: R.HOXIE/C.STAM
 drafted: R.HOXIE / B.BURRITT
 date: Feb. 12, 2021
 sheet: A1

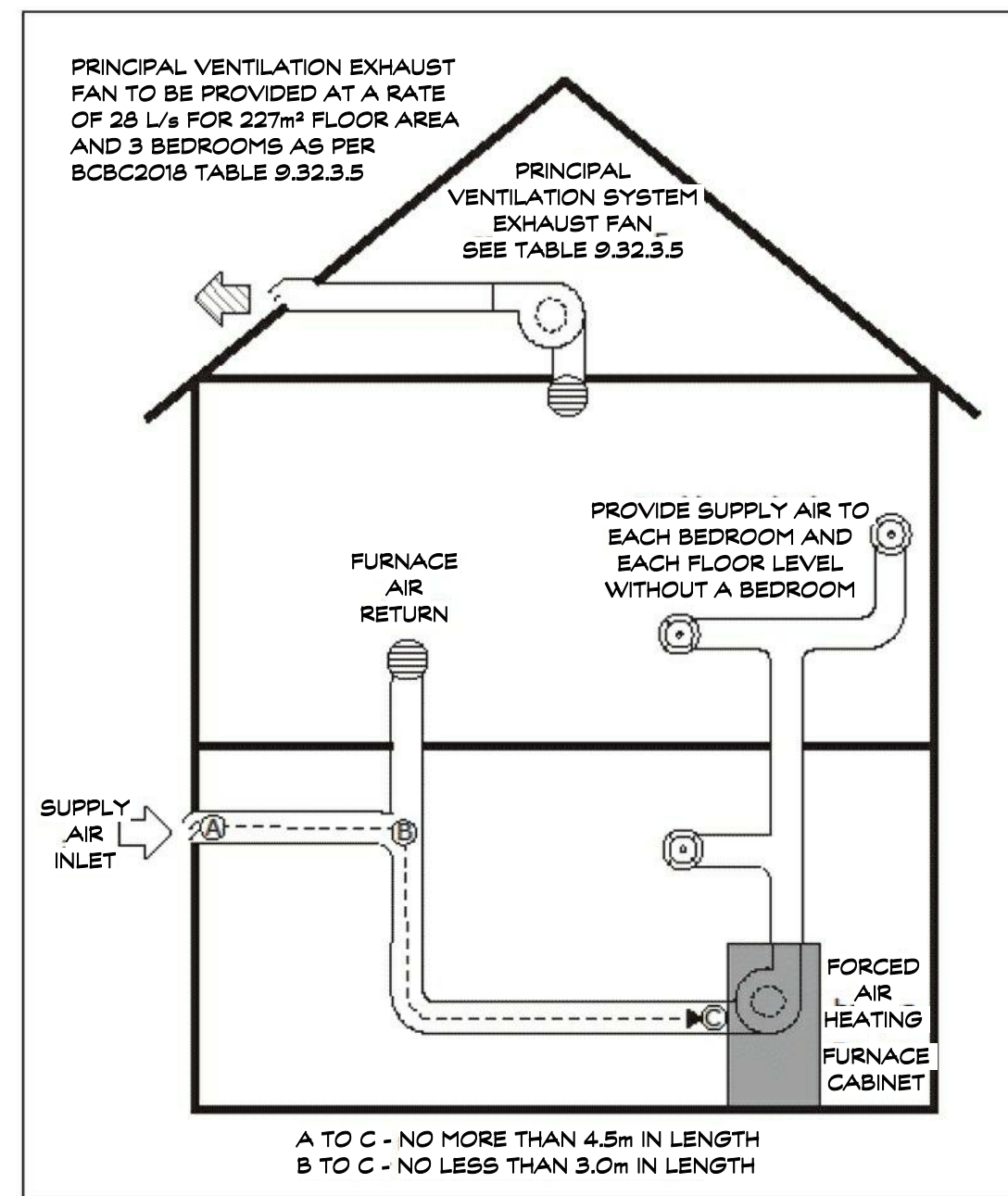
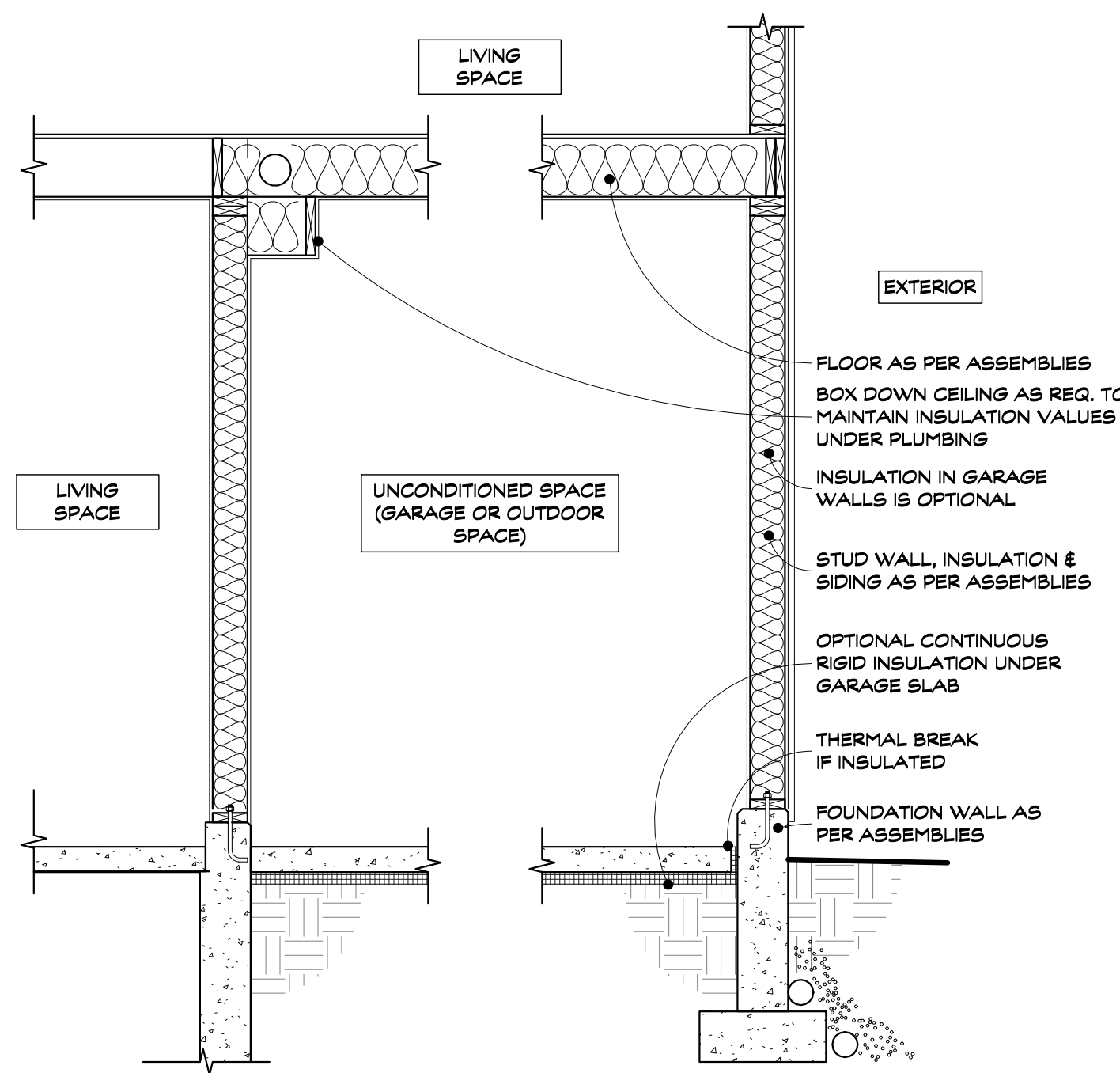
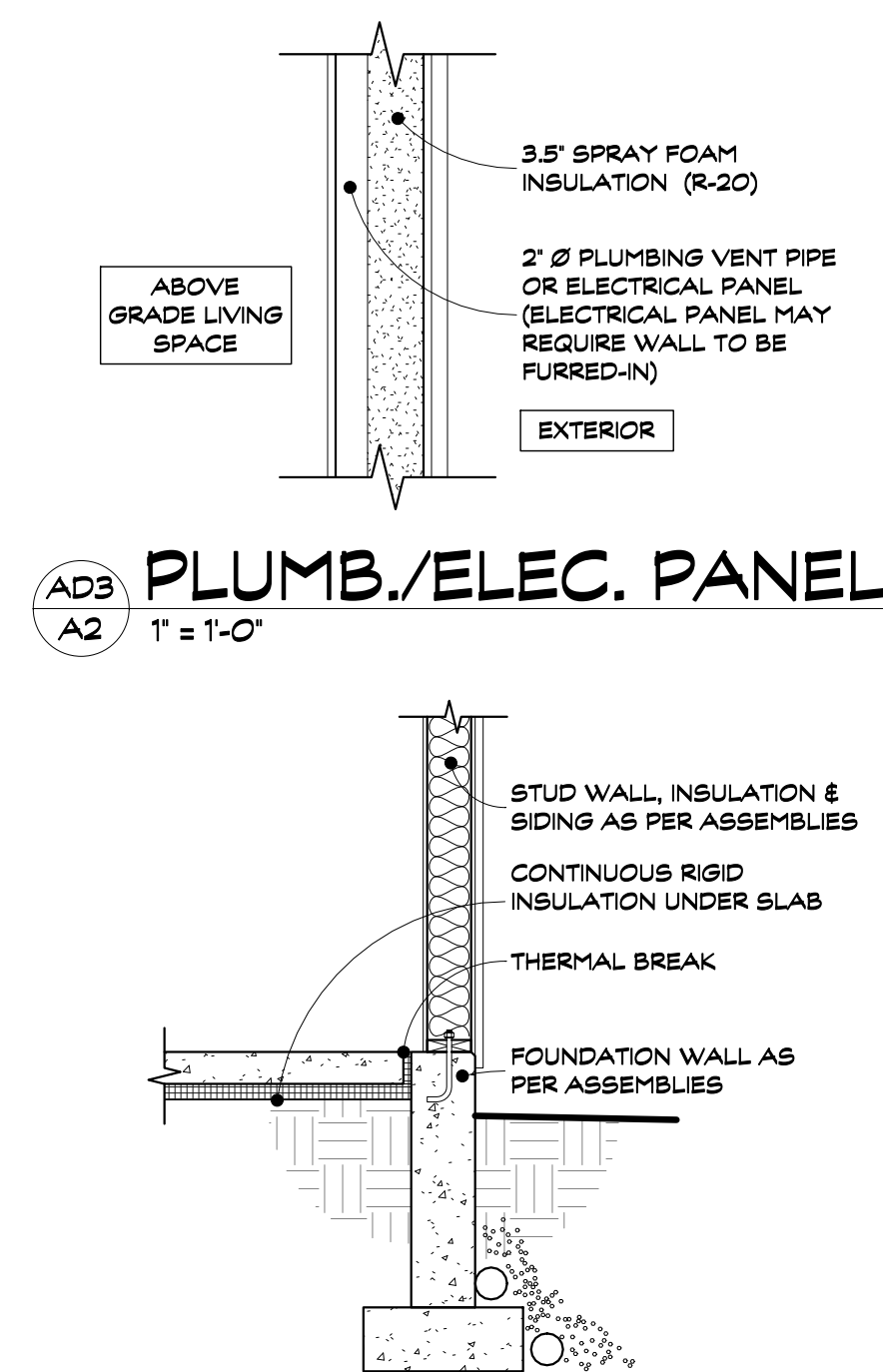


FIGURE A-9.32.3.4.(2)
FORCED-AIR HEATING SYSTEM SUPPLY AIR DISTRIBUTION

**AD1
A2** PRINCIPAL VENTILATION



**AD2
A2** FLOOR OVER UNHEATED SPACE
1/2" = 1'-0"



**AD3
A2** PLUMB./ELEC. PANEL
1" = 1'-0"

**AD4
A2** SLAB INSULATION
1/2" = 1'-0"

GENERAL NOTES

A. NOTES

- THESE DRAWINGS AND THE IDEAS CONTAINED IN THEM ARE, AND REMAIN, THE EXCLUSIVE PROPERTY OF PRECISION ASSOCIATES.
- THE BUILDER SHALL CHECK AND VERIFY ALL DRAWINGS AND DIMENSIONS FOR ACCURACY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO PRECISION ASSOCIATES.
- DRAWINGS MAY BE SCALED, BUT WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE.
- CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN THE B.C. BUILDING CODE (DECEMBER 2018 EDITION) AND ALL APPENDICES THEREOF, AS WELL AS ANY APPLICABLE LOCAL BY-LAWS.
- THE BUILDER SHALL TAKE PRECAUTIONS AS OUTLINED BY THE CANADIAN CONSTRUCTION SAFETY CODE TO ENSURE THE PUBLIC'S SAFETY DURING CONSTRUCTION.
- THE BUILDER SHALL TAKE ADEQUATE PRECAUTIONS TO STORE MATERIALS PROPERLY ON SITE TO SAVE THEM FROM DAMAGE.
- READ THESE DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, GEOTECHNICAL, CIVIL, AND SHOP DRAWINGS PREPARED BY OTHER CONSULTANTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING OUT ALL RELEVANT PERMITS, AND SHALL CALL FOR ALL NECESSARY INSPECTIONS BY AUTHORITY HAVING JURISDICTION.

B. SITE WORK

- SLOPE ALL FINISHED GRADES AWAY FROM THE BUILDING AT A MINIMUM OF 1% TO FACILITATE RUN-OFF OF SURFACE WATER.
- DO NOT DRAIN SURFACE WATER ONTO ADJACENT PROPERTIES.
- GRADED SLOPES SHALL NOT EXCEED THE NATURAL ANGLE OF REPOSE FOR THE TYPE OF MATERIAL BEING USED UNLESS APPROVED COUNTERACTING MEASURES ARE UNDERTAKEN.

C. FOUNDATIONS

- FOOTINGS SHALL REST ON SUITABLE BEARING BELOW FROST PENETRATION DEPTH (18").
- ALLOW OPENINGS IN FOUNDATIONS FOR SERVICES AS REQUIRED, CONFIRM BEFORE POURING CONCRETE.
- DO NOT BACKFILL BEFORE FLOOR JOISTS AND SUBFLOORING ARE SECURELY IN PLACE, NOR BEFORE CONCRETE HAS REACHED ITS 28 DAY STRENGTH.
- ANCHOR ALL PLATES TO FOUNDATION WITH 5/8" DIAM. X 8" LONG STEEL ANCHOR BOLTS.
- PROTECT WOOD MEMBERS IN CONTACT WITH CONCRETE WITH A 45 lb. DAMP PROOFING COURSE OR A LAYER OF 6 mil. POLY.
- FOUNDATION WALLS ENCLOSING INTERIOR SPACE SHALL HAVE 2 COATS OF APPROVED WATERPROOFING COMPOUND APPLIED TO THE EXTERIOR FACE BELOW FINISHED GRADE LEVEL.
- FOUNDATION WALL AND FOOTING CONCRETE STRENGTH TO BE MIN 15 MPa, GARAGE FLOORS- MIN 32 MPa, AND SLABS- MIN 20 MPa.

D. FRAMING LUMBER

- FRAMING LUMBER SHALL BE #2 OR BETTER. DOUGLAS FIR UNLESS NOTED OTHERWISE.
- FRAMING METHODS AND PROCEDURES SHALL CONFORM TO SECTION 9.23 B.C. BUILDING CODE.
- ALL EXPOSED LUMBER SHALL BE PRESSURE TREATED OR OTHERWISE PROTECTED WITH AN APPROVED PRESERVATIVE COMPOUND, TOUCH UP ALL SAWCUTS, SPLITS, ETC.
- DOUBLE UP FLOOR JOISTS UNDER PARTITIONS AND CABINETS, AND SECURE FLUSH FRAMED WOOD MEMBERS WITH APPROVED METAL FRAMING ANCHORS.
- PLYWOOD SUBFLOORING TO BE GLUED AND SCREWED TO ITS SUPPORTING JOIST STRUCTURE.
- INSTALL 2" x 2" CROSS BRIDGING BETWEEN JOISTS AT 7'-0" MAX CENTERS. WHERE ONLY ONE ROW IS REQUIRED LOCATE AT MID SPAN.
- STAIR CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE B.C. BUILDING CODE.

E. DOORS AND WINDOWS

- EXTERIOR ACCESS DOORS, AND ASSOCIATED FRAMING SHALL BE INSTALLED IN CONFORMANCE WITH SECTIONS 9.7.4, 9.7.5, AND 9.7.6 OF THE B.C.B.C. 2018.
- INSTALL SHEET METAL FLASHING OVER ALL UNPROTECTED OPENINGS IN EXTERIOR WALLS.
- CAULK AROUND ALL OPENINGS IN EXTERIOR WALLS.
- INTERIOR DOORS MUST UNDERCUT 12mm FOR CROSS VENTILATION BCBC 9.32.3.10
- ALL WINDOWS AND DOORS TO HAVE A U-VALUE OF 1.80 IN ZONE 5.

F. ENERGY STEP CODE

- BUILDING HAS BEEN DESIGNED FOR CLIMATE ZONE 5
- DESIGNED IN ACCORDANCE WITH STEP 1 OF THE BC ENERGY STEP CODE (9.36.6 OF BCBC 2018)

G. INSULATION AND VAPOUR BARRIER (PRESCRIPTIVE PATH U.N.O.)

- BUILDING HAS BEEN DESIGNED FOR CLIMATE ZONE 5
- INSULATION VALUES TO BE OBTAINED FROM SECTION 9.36.2.5 IN THE B.C. BUILDING CODE
- THERMAL CHARACTERISTICS OF ALL ASSEMBLIES TO BE DESIGNED TO COMPLY WITH SECTION 9.36.2.6 - 9.36.2.9 IN THE B.C.B.C. 2018.
- CARBON MONOXIDE (CO) ALARMS SHALL CONFORM TO 9.32.4.2. IN THE B.C.B.C. 2018

H. HEATING AND VENTILATION (PRESCRIPTIVE PATH U.N.O.)

- INSTALL SCREENED COVERS TO ALL VENTS, DUCTS, ETC. DESIGNED TO PREVENT ENTRY OF DEBRIS, INSECTS, BIRDS, OR RAIN.
- INSTALL SCREENS TO CONNECTIONS BETWEEN GUTTERS AND DOWNSPOUTS (OR ROOF AND DRAINS) TO PREVENT ENTRY OF DEBRIS.
- ALL SOFFITS, WHERE < 1.2m FROM THE PROPERTY LINE, ARE TO BE SOLID HARDIE PANEL NON-VENTED SOFFITS, AS PER B.C. BUILDING CODE, SECTION 9.10.14.5.(9),(10),(11)
- A CONTINUOUS AIR BARRIER SYSTEM SHALL BE CONSTRUCTED AS PER B.C.B.C. 2018 9.36.2.9.
- HVAC EQUIPMENT AND COMPONENTS MUST BE LOCATED WITHIN THERMAL ENCLOSURE, OR DESIGNED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE AND, MUST COMPLY WITH PERFORMANCE REQUIREMENTS AS PER B.C.B.C. 2018 TABLE 9.36.8.10 & TABLE 9.36.4.2.
- DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE TO BE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS.
- PRINCIPAL EXHAUST FAN MUST BE DESIGNED TO RUN CONTINUOUSLY 24 HOURS A DAY, AND THE AIR-FLOW RATE MUST COMPLY WITH TABLE 9.32.3.5. IN THE B.C.B.C. 2018.
- A PRINCIPLE VENTILATION SYSTEM IS REQUIRED AS PER B.C.B.C. 2018 9.32.1.2
- PRINCIPLE VENTILATION SYSTEM SUPPLY AIR
 - FORCED-AIR HEATING SYSTEM AIR DISTRIBUTION AS PER B.C.B.C. 2018 FIGURE A-9.32.3.4.(2)
 - FORCED-AIR HEATING SYSTEM WITH HEAT RECOVERY VENTILATOR SUPPLY AIR DISTRIBUTION AS PER B.C.B.C. 2018 FIGURE A-9.32.3.4.(3)
 - HEAT RECOVERY VENTILATOR SUPPLY AIR DISTRIBUTION AS PER B.C.B.C. 2018 FIGURE A-9.32.3.4.(4)
 - CENTRAL RECIRCULATION SYSTEM SUPPLY AIR DISTRIBUTION AS PER B.C.B.C. 2018 FIGURE A-9.32.3.4.(5)(a)) OR FIGURE A-9.32.3.4.(5)(b))
 - PASSIVE SUPPLY AIR DISTRIBUTION AS PER B.C.B.C. 2018 FIGURE A-9.32.3.4.(6)
- HEATED CRAWL SPACE VENTILATION
 - HEATED BY A DUCTED FORCED-AIR HEATING SYSTEM AS PER B.C.B.C. 2018 9.32.3.7.(1)
 - HEATED OTHER THAN BY A DUCTED FORCED-AIR HEATING SYSTEM AS PER B.C.B.C. 2018 9.32.3.7.(2)
 - AIR-TRANSFER GRILLES AS PER B.C.B.C. 2018 9.32.3.7.(3)
 - WHERE A DEDICATED EXHAUST FAN IS INSTALLED, IT SHALL CONFORM TO B.C.B.C. 2018 9.32.3.7.(4)
 - WHERE A CRAWL SPACE IS DIVIDED INTO 2 OR MORE COMPARTMENTS, EACH HEATED COMPARTMENT SHALL CONFORM TO B.C.B.C. 2018 9.32.3.7.(5)

RSI ASSEMBLY VALUES (ZONE 5)

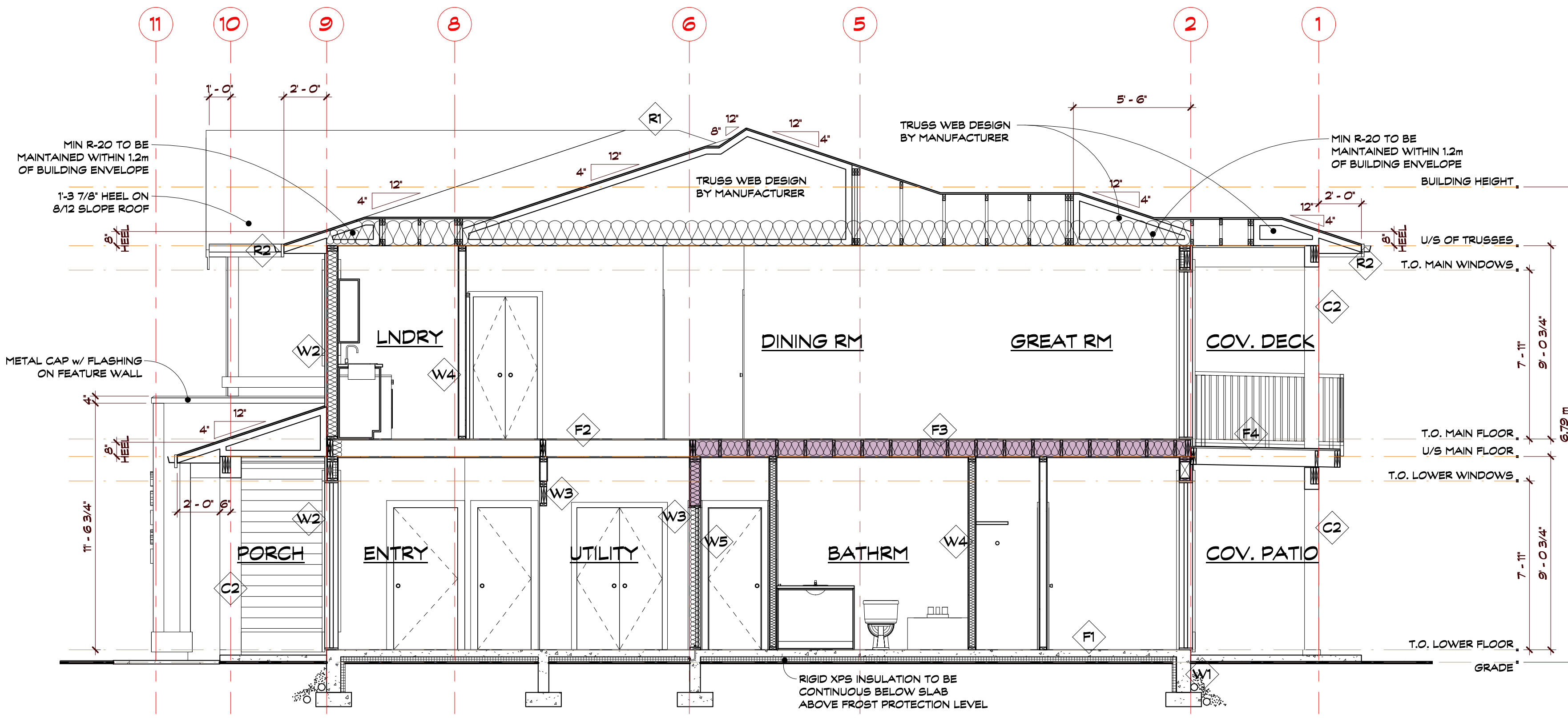
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| <p>CEILING BELOW ATTIC ASSEMBLY:</p> <p>(R-50) 482mm (18") LOOSE FILL, GLASS FIBER INSULATION, 2x4 BOTTOM CHORD @ 24" o/c:</p> <p>NOMINAL RSI = 8.8 EFFECTIVE RSI = 8.67</p> <p>OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:</p> <ol style="list-style-type: none"> EXTERIOR AIR FILM = 0.03 5/8" GYPSUM CEILING BOARD = 0.10 INTERIOR AIR FILM = 0.11 <p>TOTAL EFFECTIVE INSULATION VALUE = RSI 9.67</p> <p>MINIMUM EFFECTIVE THERMAL RESISTANCE FOR CEILINGS BELOW ATTICS = RSI 8.67</p> <p>ABOVE GRADE EXTERIOR WALL ASSEMBLY:</p> <p>R-24 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" o/c:</p> <p>NOMINAL RSI = 4.2 EFFECTIVE RSI = 2.66</p> <p>OTHER BUILDING ENCLOSURE THAT CONTRIBUTE TO EFFECTIVE INSULATION:</p> <ol style="list-style-type: none"> EXTERIOR AIR FILM = 0.03 CLADDING (HARDIE PLANK) = 0.023 RAIN SCREEN = 0.16 1/2" PLYWOOD SHEATHING = 0.11 1/2" GYPSUM WALL BOARD = 0.08 INTERIOR AIR FILM = 0.12 <p>TOTAL EFFECTIVE INSULATION VALUE = RSI 3.18</p> <p>MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE EXTERIOR WALLS = RSI 3.08</p> <p>WOOD FLOORS OVER UNHEATED SPACES:</p> <p>R-28 BATT INSULATION IN 2x10 WOOD FRAMING @ 16" o/c:</p> <p>NOMINAL RSI = 4.93 EFFECTIVE RSI = 4.14</p> <p>OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:</p> <ol style="list-style-type: none"> INTERIOR AIR FILM = 0.12 5/8" PLYWOOD SUBFLOOR = 0.14 3/4" AIR BARRIER = 0.18 5/8" GYPSUM CEILING BOARD = 0.10 EXTERIOR AIR FILM = 0.03 <p>TOTAL EFFECTIVE INSULATION VALUE = RSI 4.71</p> <p>MINIMUM EFFECTIVE THERMAL RESISTANCE FOR WOOD FLOORS OVER UNHEATED SPACES = RSI 4.67</p> | <p>UNHEATED CONCRETE SLAB ABOVE FROST LINE:</p> <p>2.5" RIGID INSULATION: NOMINAL RSI = 2.1</p> <p>OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:</p> <ol style="list-style-type: none"> INTERIOR AIR FILM = 0.16 4" CONCRETE SLAB = 0.04 <p>TOTAL EFFECTIVE INSULATION VALUE = RSI 2.3</p> <p>MINIMUM EFFECTIVE THERMAL RESISTANCE FOR UNHEATED CONCRETE SLAB ABOVE FROST LINE = RSI 1.96</p> <p>BELOW GRADE WALL ASSEMBLY:</p> <p>3" XPS INSULATION OVER 6" CONC. FDN WALLS NOMINAL RSI = 2.64 EFFECTIVE RSI = 2.65</p> <p>OTHER BUILDING ENCLOSURE THAT CONTRIBUTE TO EFFECTIVE INSULATION:</p> <ol style="list-style-type: none"> DAMP PROOFING INTERIOR AIR FILM RSI = 0.33 <p>TOTAL EFFECTIVE INSULATION VALUE = RSI 2.98</p> <p>MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE EXTERIOR WALLS = RSI 2.98</p> <p>FLAT/CATHEDRAL ROOFS:</p> <p>R-28 BATT INSULATION IN 2x-- WOOD FRAMING @ 24" o/c:</p> <p>NOMINAL RSI = 4.93 EFFECTIVE RSI = 4.14</p> <p>OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:</p> <ol style="list-style-type: none"> BUILT UP ROOFING = 0.06 1/2" PLYWOOD SHEATHING = 0.109 AIR BARRIER = 0.16 5/8" GYPSUM CEILING BOARD = 0.10 INTERIOR AIR FILM = 0.12 <p>TOTAL EFFECTIVE INSULATION VALUE = RSI 4.69</p> <p>MINIMUM EFFECTIVE THERMAL RESISTANCE FOR FLAT/CATHEDRAL ROOF SPACE = RSI 4.67</p> |
|---|--|

NOTES PERTAINING TO LEAKAGE PATHS

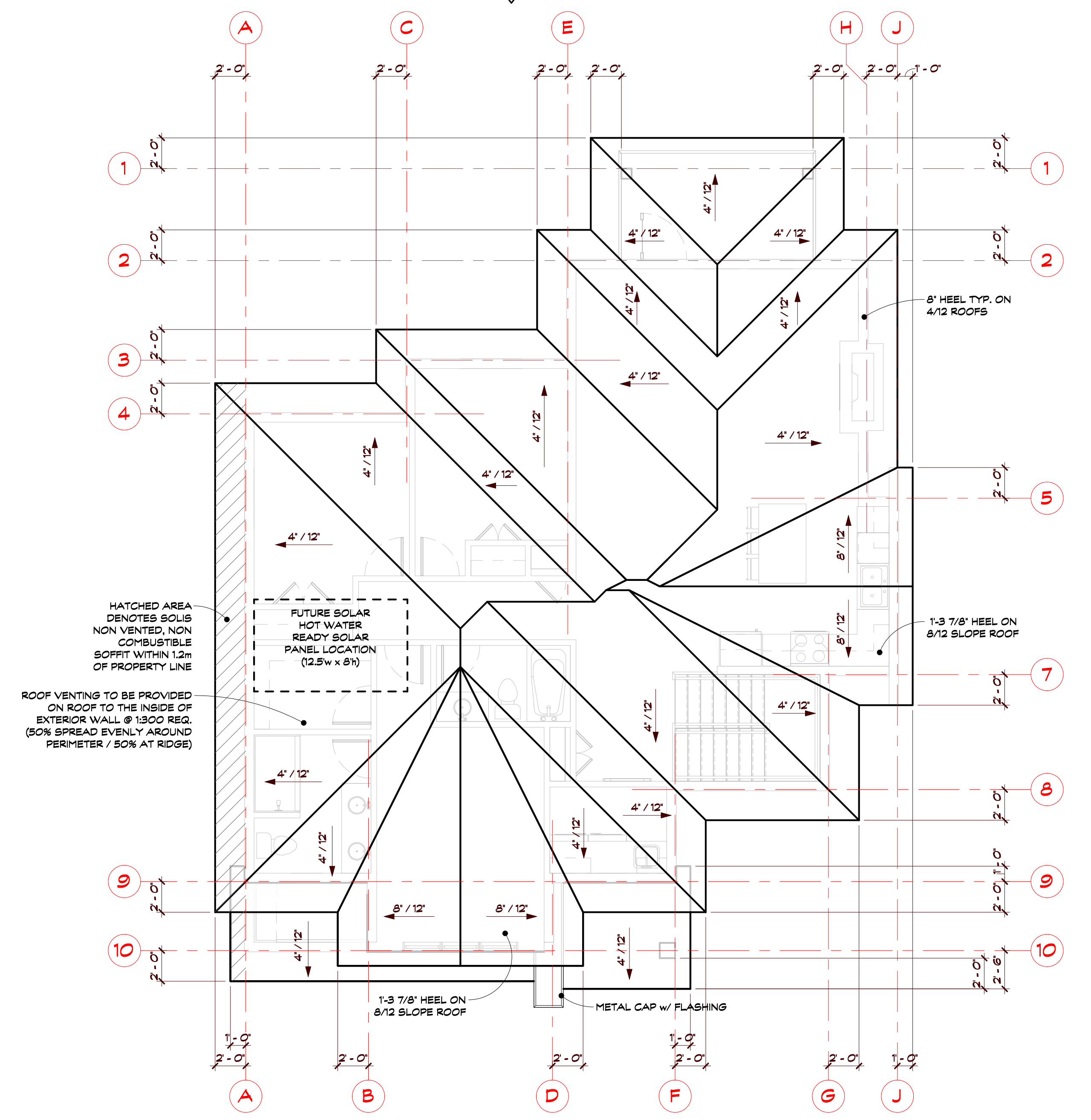
| | |
|---|--|
| <p>AS PER SECTION 9.36.2.10</p> <p>1) FOUNDATION TO SILL PLATE AND RIM JOISTS</p> <p>ALL JOINTS AT THE TRANSITION BETWEEN THE FOUNDATION WALL AND THE ABOVE GRADE WALL MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.</p> <p>2) INTERIOR WALL INTERFACE</p> <p>INTERIOR WALLS THAT MEET EXTERIOR WALLS OR CEILINGS WITH AN INTERIOR PLANE OF AIR TIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL, OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL.</p> <p>3) RIM JOIST</p> <p>ALL JOINTS AT THE RIM JOIST ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.</p> <p>4) CANTILEVERED FLOOR</p> <p>CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES/EXTERIOR SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.</p> <p>5) WINDOW HEAD</p> <p>THE INTERFACE BETWEEN WINDOW HEAD/JAMB AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS.</p> <p>6) WINDOW SILL</p> <p>THE INTERFACE BETWEEN WINDOW SILL AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS.</p> | <p>7) MECHANICAL FLUES AND CHIMNEYS</p> <p>STEEL-LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEET METAL AND SEALANT CAPABLE OF WITHSTANDING HEAT.</p> <p>8) PLUMBING STACKS</p> <p>PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY EITHER SEALING THE AIR BARRIER MATERIAL TO THE VENT STACK PIPE WITH A COMPATIBLE MATERIAL OR SHEATHING TAPE, OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION OF THE PLANE OF AIR TIGHTNESS AND SEALING IT TO THE TOP PLATE.</p> <p>9) SKYLIGHTS</p> <p>THE INTERFACE BETWEEN THE SKYLIGHT AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE SKYLIGHT.</p> <p>10) WALL TO CEILING</p> <p>ALL JOINTS AT THE TRANSITION BETWEEN THE ABOVE GRADE WALL AND CEILING MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.</p> <p>11) WALL VENTED DUCTS</p> <p>DUCT PENETRATIONS THROUGH THE BUILDING ENVELOPE MUST HAVE AN AIRTIGHT SEAL.</p> <p>12) ELECTRICAL PENETRATION IN WALL</p> <p>ELECTRICAL PENETRATIONS IN WALLS, INCLUDING ELECTRICAL OUTLETS, WIRING, SWITCHED, AND RECESSED FIXTURES THROUGH THE PLANE OF AIR TIGHTNESS MUST BE AIRTIGHT. OPTIONS INCLUDE USING A COMPONENT THAT IS DESIGNED TO BE AIRTIGHT AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL, OR BY COVERING THE COMPONENT WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.</p> |
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 ASHREA Details & Notes

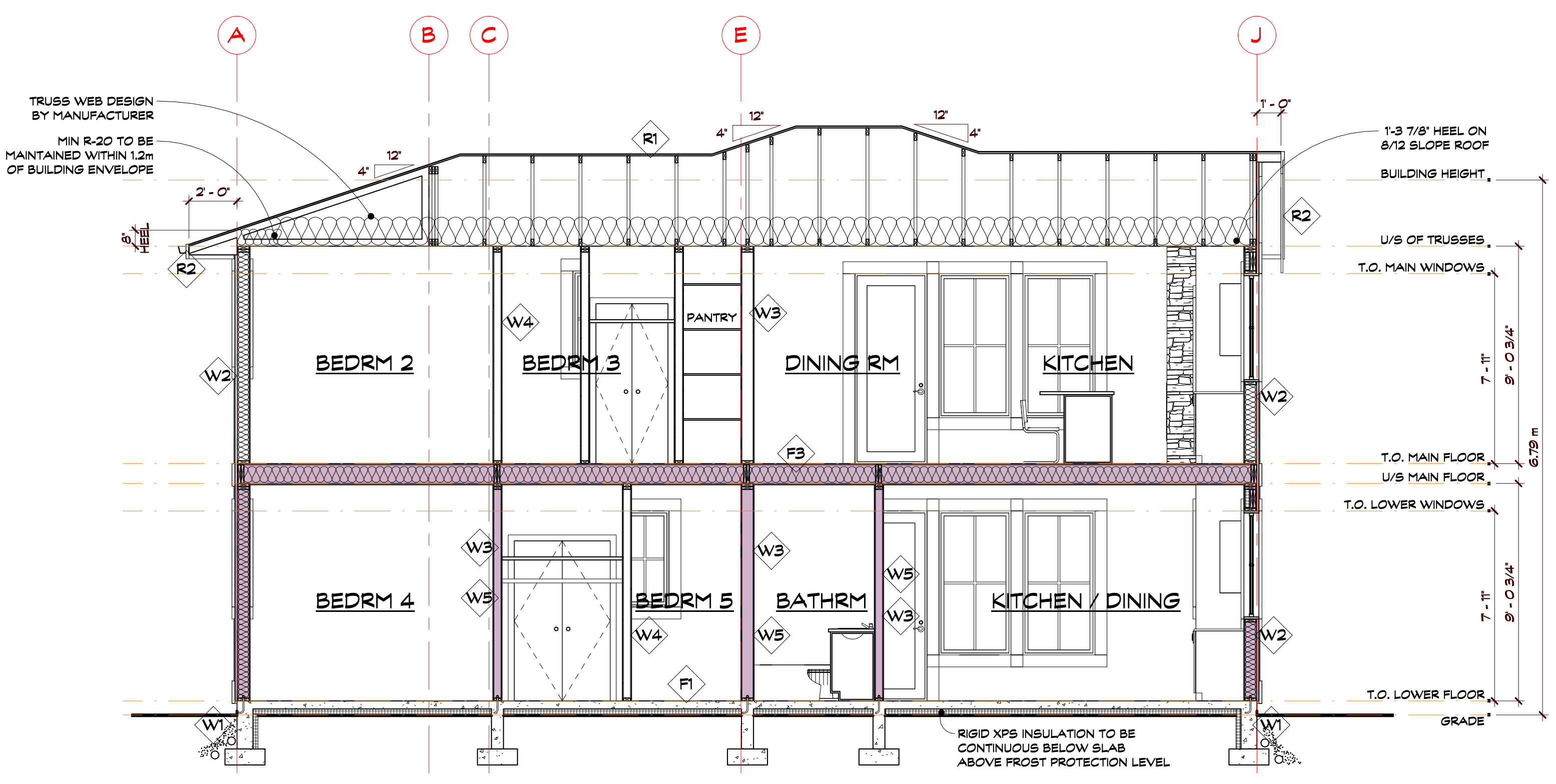
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 t. 604.788.0826
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 scale: AS SHOWN
 designed/checked: R.HOXIE/C.STAM
 drafted: R.HOXIE / B.BURRITT
 date: Feb. 12, 2021
 sheet: A2



SECTION A
1/4" = 1'-0"



ROOF PLAN
3/16" = 1'-0"



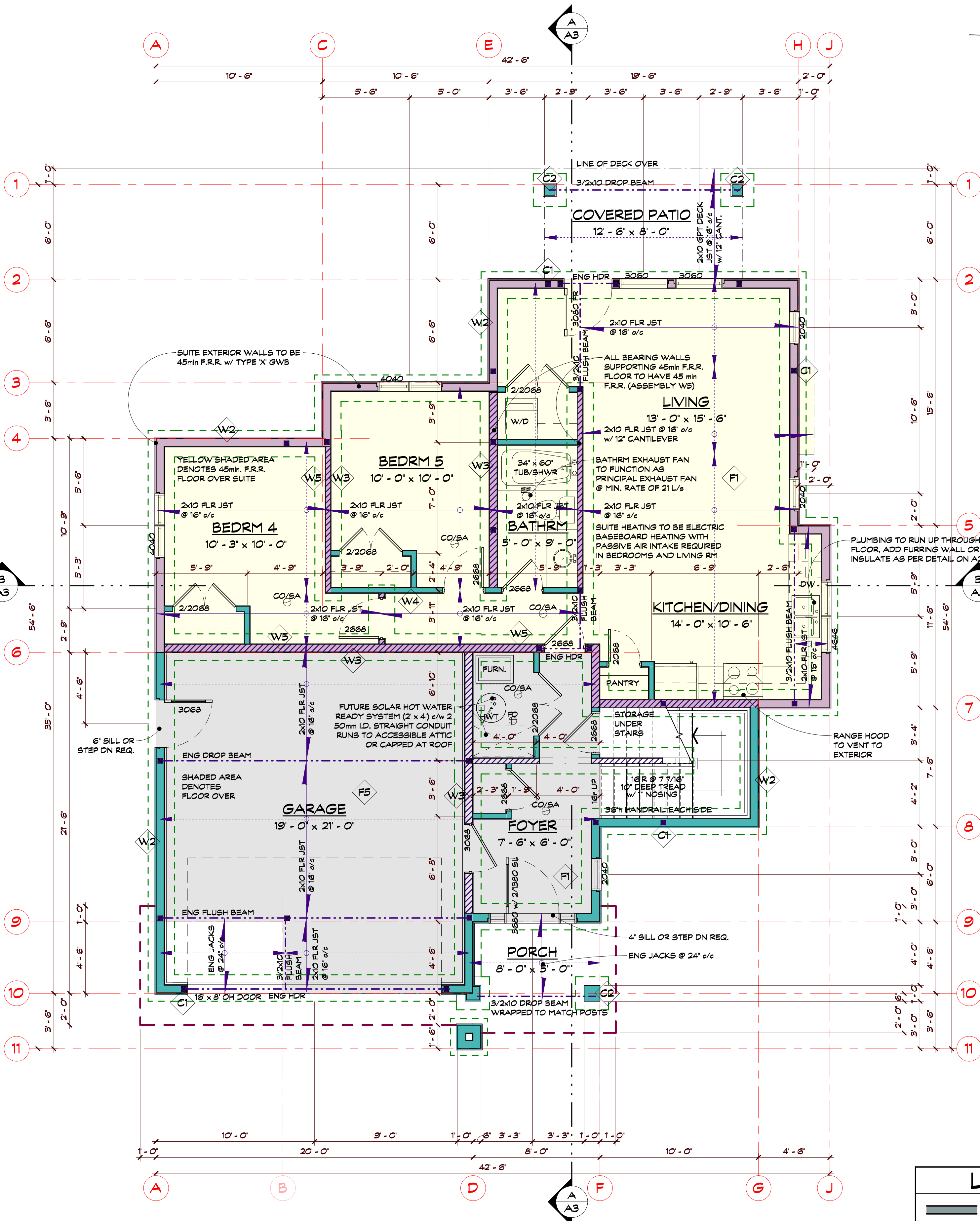
SECTION B
1/4" = 1'-0"

| ASSEMBLIES | |
|------------|--|
| C1 | POINT LOADS SOLID 4x4s (OR 2x4) STUDS FROM LOAD TO TOP OF FDN WALL PAD FOOTINGS AS PER STRUCTURAL ENGINEER |
| C2 | ROOF SUPPORT POSTS 12x12 WOOD POST @ FRONT ENTRY 8x8 WOOD POST @ BACK DECK 12sq x 48h CONCRETE PEDESTAL PAD FOOTINGS AS PER STRUCTURAL ENGINEER |
| F1 | BASEMENT FLOOR 4" CONCRETE SLAB ON 6mil POLY VB 2.5" RIGID XPS INSULATION TO MIN. 48" INSIDE FDN WALL (CONTINUOUS IF ABOVE FROST PROTECTION LEVEL) MIN 6" COMPACTED GRANULAR FILL |
| F2 | WOOD FLOOR 5/8" T&G PLYWOOD GLUED/SCREWED 2x10 SFF FLOOR JOISTS @ 16" o/c 2x2 CROSS BRIDGING AT MID-SPAN UNLESS ENG. BRIDGING SPECIFIED DOUBLE RM JOISTS PARALLEL WITH EXTERIOR/ INTERIOR LOAD BEARING WALLS |
| F3 | WOOD FLOOR (45MIN F.R.R. & 53 STC AS PER BCBC 2018; TABLE A-9.10.3.1.B, ASSEMBLY F9h) 5/8" T&G PLYWOOD GLUED/SCREWED 2x10 SFF FLOOR JOISTS @ 16" o/c 2x2 CROSS BRIDGING AT MID-SPAN UNLESS ENG. BRIDGING SPECIFIED MINERAL FIBER INSULATION IN CAVITY RESILIENT METAL CHANNELS @ 16" o/c DOUBLE RM JOISTS PARALLEL WITH EXTERIOR/ INTERIOR LOAD BEARING WALLS 2 LAYERS 1/2" TYPE X GYPSUM BOARD CEILINGS FINISHED |

| ASSEMBLIES | |
|------------|--|
| F4 | DECK WATERPROOF DECKING MEMBRANE TO CONFORM TO ROOFING STANDARDS PER BCBC 2018 (9.28.21) 3/4" T&G GPT PLYWOOD GLUED AND SCREWED 2x10 GPT DECK JOISTS @ 16" o/c 2x4 GPT BLOCKING @ MID SPAN SLOPE AWAY 2% CONT. FLASHING @ DECK/MAN STRUCTURE TO CONFORM TO BCBC 2018 (9.28.4) |
| F5 | GARAGE FLOOR 4" CONCRETE SLAB SLOPED 1% AWAY ON 6mil POLY OPTIONAL - 2.5" RIGID XPS INSULATION TO MIN. 48" INSIDE FDN WALL (CONTINUOUS IF ABOVE FROST PROTECTION LEVEL) MIN 6" COMPACTED GRANULAR FILL |
| R1 | MAIN ROOF 30 yr. PROFILED FIBERGLASS/LAMINATE SHINGLE ROOF 15# BUILDING PAPER OVER ENTIRE ROOF SURFACE 1/2" PLYWOOD SHEATHING w/ H-CLIPS AS REQ'D ENGINEERED TRUSSES @ 24" o/c 1:80 ATTIC VENTILATION (PLASTIC RIDGE VENTS) R-50 LOOSE FILL ATTIC INSULATION 6mil POLY VB ON WARM SIDE 5/8" GYPSUM BOARD CEILINGS FINISHED |
| R2 | FASCIA 5" PRE-FINISHED ALUMINUM GUTTER 2x8 FASCIA BOARD VENTED VINYL SOFFIT NON VENTED, NON COMBUSTIBLE SOFFIT REQUIRED WITHIN 1.2m SETBACKS GABLE ENDS: 1x4 ON 2x10 FASCIA PAINTED |
| W1 | EXTERIOR FOUNDATION WALLS CONCRETE FOUNDATION/FOOTINGS TO BE ENGINEERED SILL GASKET ANCHOR BOLTS AS PER STRUCTURAL ENGINEER ASPHALT EMULSION ON 8" FOUNDATION WALLS 2" RIGID INSULATION LINER ON INSIDE CONCRETE FOOTINGS AS PER STRUCTURAL ENGINEER PLACE ON UNDISTURBED SOIL FREE OF FILL 4" PVC RWL ON TOP OF FOOTINGS 4" PERFORATED PVC AT BASE |

| ASSEMBLIES | |
|------------|---|
| W2 | EXTERIOR WALLS REFER TO ELEVATIONS FOR SIDING VERTICAL PT. 1x2 FURRING STRIPS @ 12" o/c (RAINSCREEN) 30# BUILDING PAPER 1/2" PLYWOOD OR OSB SHEATHING 2x6 STUDS @ 16" o/c PLACE 2x2x10 HEADER OVER OPENINGS UNLESS NOTED OTHERWISE R20 BATT INSULATION 6mil POLY VB ON WARM SIDE 1/2" GWB FINISHED 1/2" TYPE X GWB REQUIRED ON EXTERIOR SUITE WALLS. MOULDINGS/BASE/CROWN/TRIM TO OWNER/BLDR SPECS |
| W3 | INTERIOR BEARING WALLS (HATCHED) 2x4 (OR 2x6) STUDS @ 16" o/c DBL TOP AND SINGLE BOTTOM PLATES SILL GASKET 5/8x10x1 A.S.S @ 8'-0" o/c 4x8" CONCRETE CURB 20" w x 8" h CONCRETE FOOTING WITH 2/10M BARS CONTINUOUS |
| W4 | INTERIOR WALLS 2x4 (OR 2x6) STUDS @ 16" o/c WITH DBL TOP AND SINGLE BOTTOM PLATES R-12 BATT INSULATION AROUND BATHROOMS AND LAUNDRY ROOM 1/2" GWB FINISHED MOULDINGS/BASE/CROWN/TRIM TO OWNER/BLDR SPECS |
| W5 | INTERIOR WALLS (45MIN F.R.R. & 43 STC AS PER BCBC 2018; TABLE A-9.10.3.1.A, ASSEMBLY W3g) 2x4 (OR 2x6) STUDS @ 16" o/c WITH DBL TOP AND SINGLE BOTTOM PLATES 1/2" TYPE X GWB FINISHED EACH SIDE MOULDINGS/BASE/CROWN/TRIM TO OWNER/BLDR SPECS |

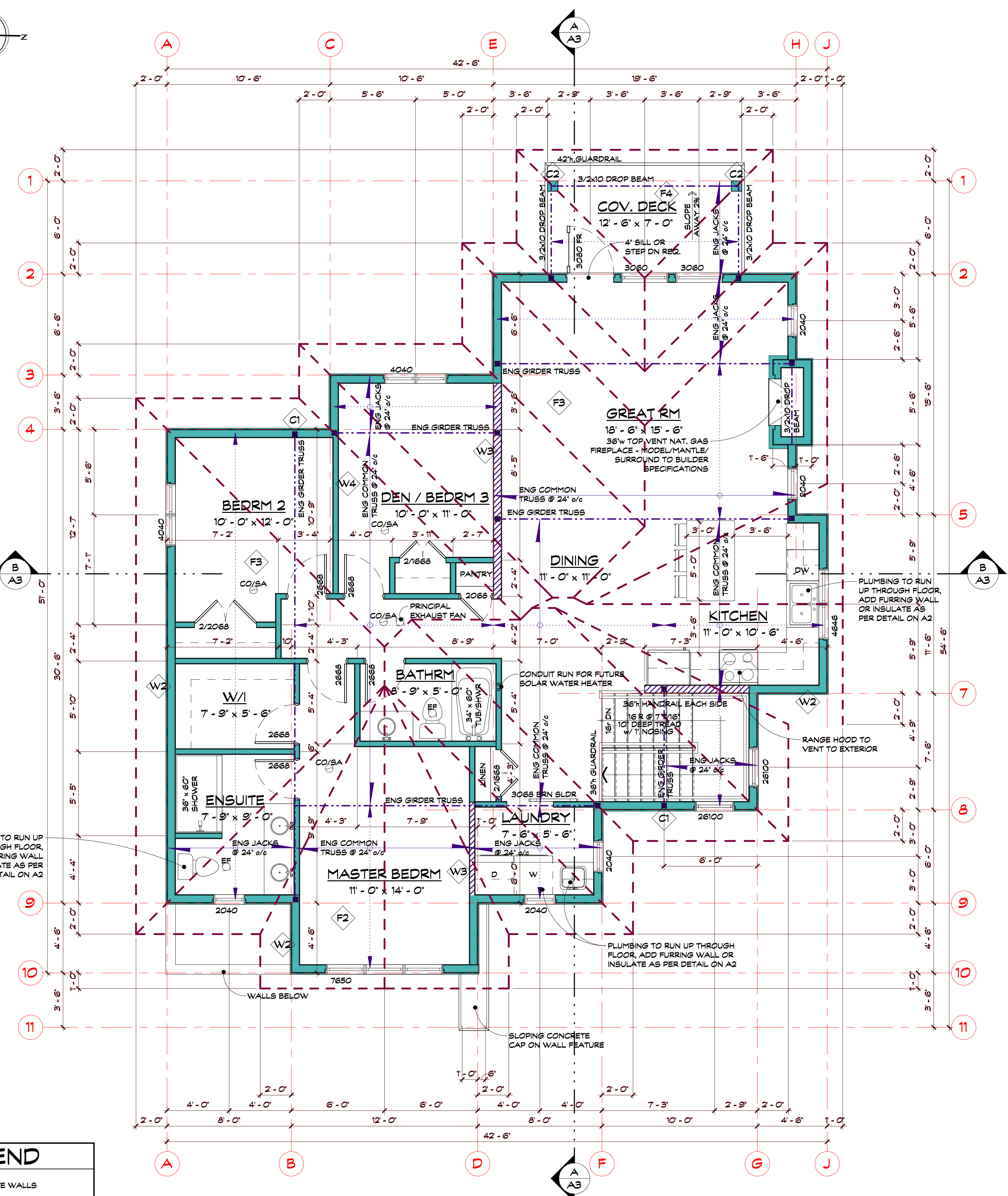
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 Purpose Developments
 Construction Permit Drawings
 Sections, Assemblies
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 scale: AS SHOWN
 designed/checked: R.HOXIE/C.STAM
 drafted: R.HOXIE / B.BURRITT
 date: Feb. 12, 2021
 sheet: A3



LOWER FLOOR PLAN

1/4" = 1'-0"
 835 sq ft • FINISHED SUITE FLOOR AREA
 230 sq ft • FINISHED LOWER FLOOR AREA (INCLUDING STAIRS, EXCLUDING GARAGE)
 1,065 sq ft • TOTAL FINISHED LOWER FLOOR AREA

| LEGEND | |
|--------|---|
| | CONCRETE WALLS |
| | 2x4/2x6 WOOD WALLS |
| | 2x4/2x6 BEARING WALLS |
| | 2x4/2x6 BEARING WALLS w/ 45min. F.R.R. |
| | 45min. F.R.R. WALLS |
| | 45min. F.R.R. FLOOR OVER SUITE w/ 53 STC RATING |
| | FLOOR OVER |

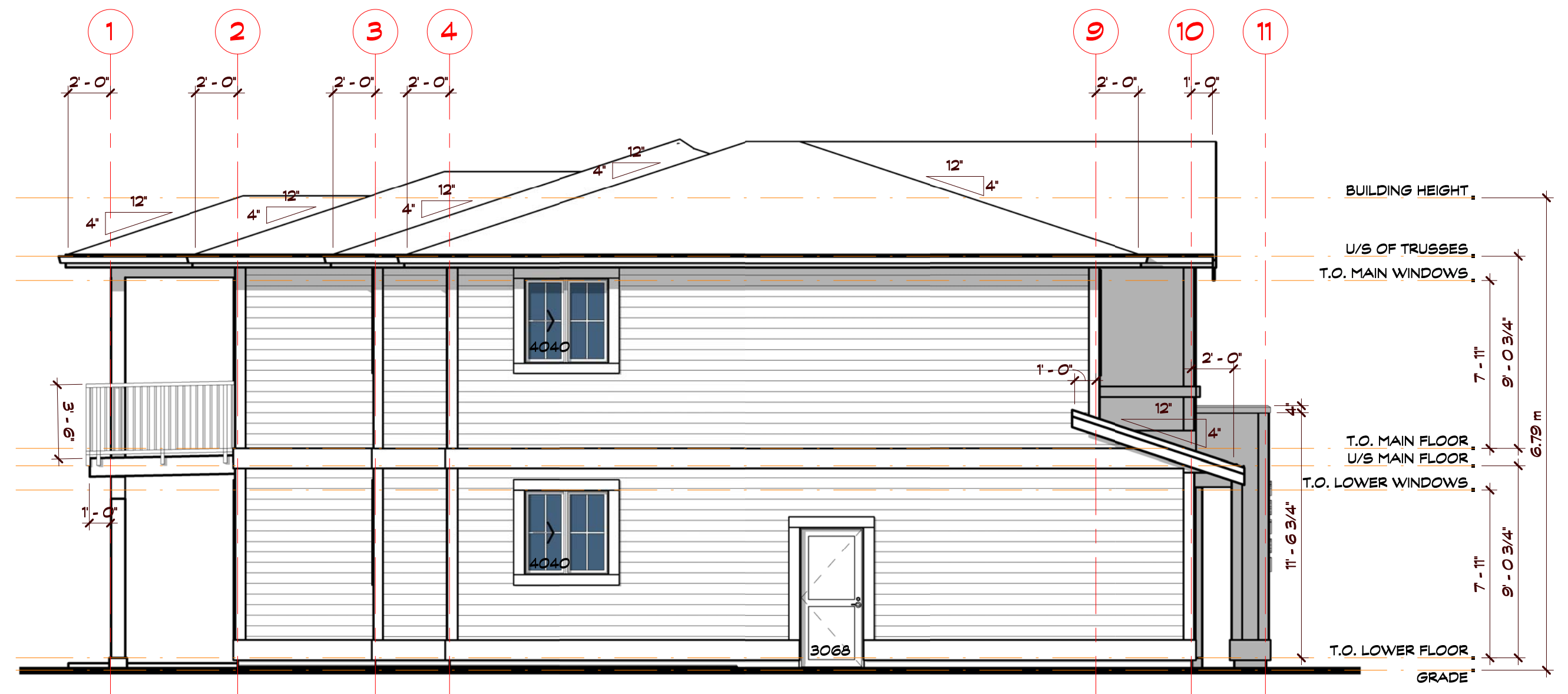


MAIN FLOOR PLAN

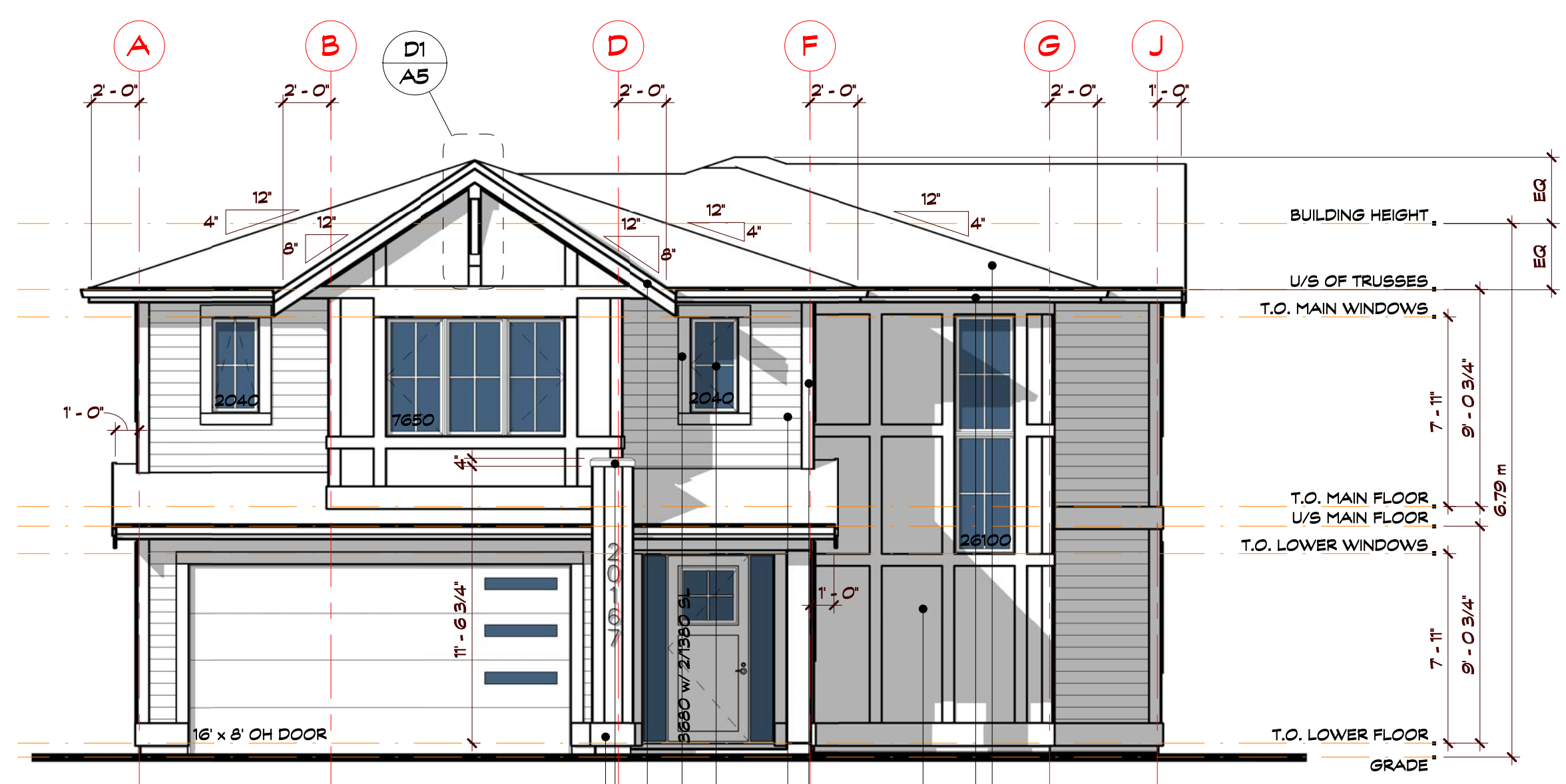
1/4" = 1'-0"
 1,380 sq ft • FINISHED MAIN FLOOR AREA (EXCLUDING STAIRS)
 1,068 sq ft • FINISHED LOWER FLOOR AREA (INCLUDING STAIRS & SUITE, EXCLUDING GARAGE)
 2,448 sq ft • TOTAL FINISHED FLOOR AREA

- ALL HEADERS IN EXTERIOR/INTERIOR BEARING WALLS TO BE 2x10, 3/2x10 OVER OPENINGS GREATER THAN 5'-0" WIDE UNLESS NOTED OTHERWISE
- DIMENSIONS ARE TAKEN FROM OUTER FACE OF PLYWOOD SHEATHING OR CONCRETE FOUNDATION TO CENTERLINE OF INTERIOR PARTITIONS OR EDGE OF FLOOR BELOW AND/OR ABOVE
- ALL DOORS LOCATED AT CENTER OF WALL OR WITH 4" FRAMED JAMB UNLESS NOTED OTHERWISE
- ALL F.R.R. FRAMING TO BE SUPPORTED BY => F.R.R. STRUCTURE

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 Drafted: R.HOXIE / B.BURRITT
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 Sheet: A4

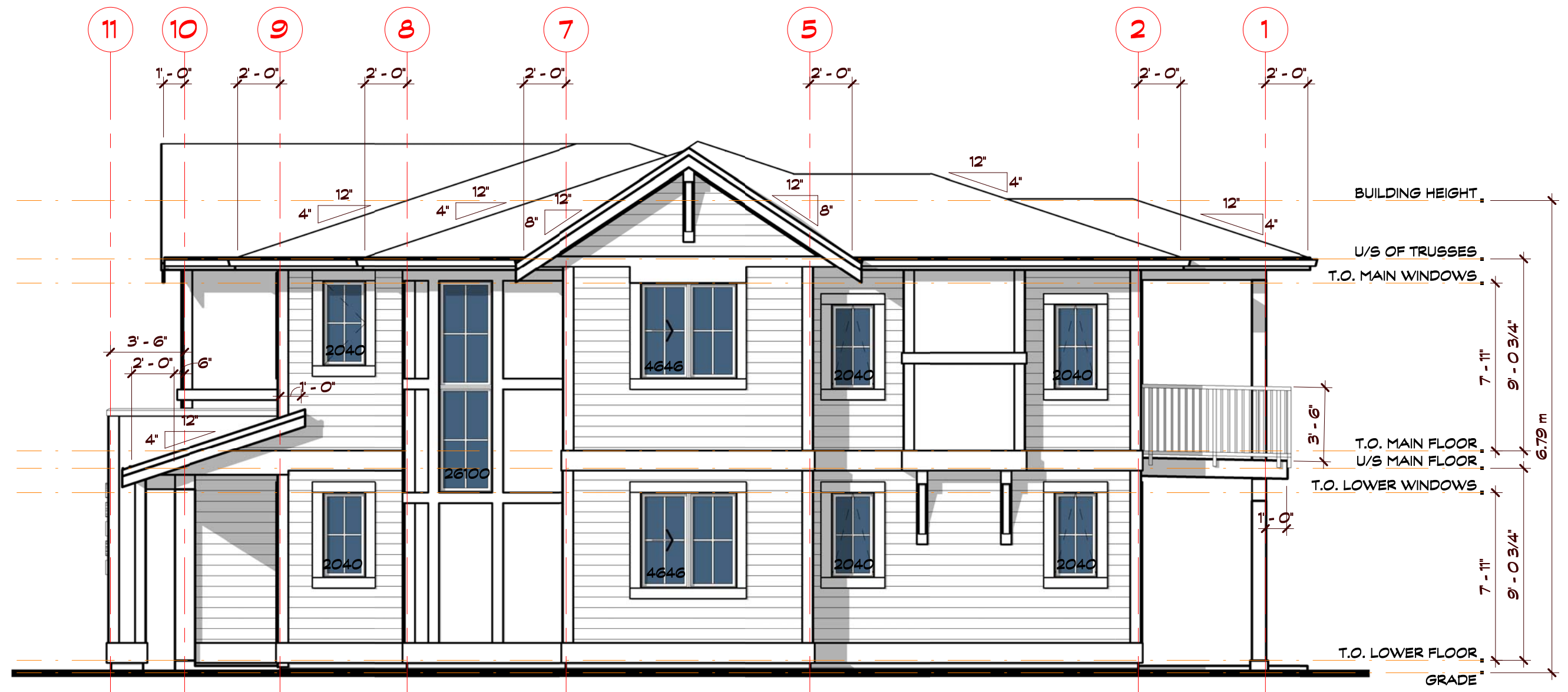


LH SIDE ELEVATION
3/16" = 1'-0"

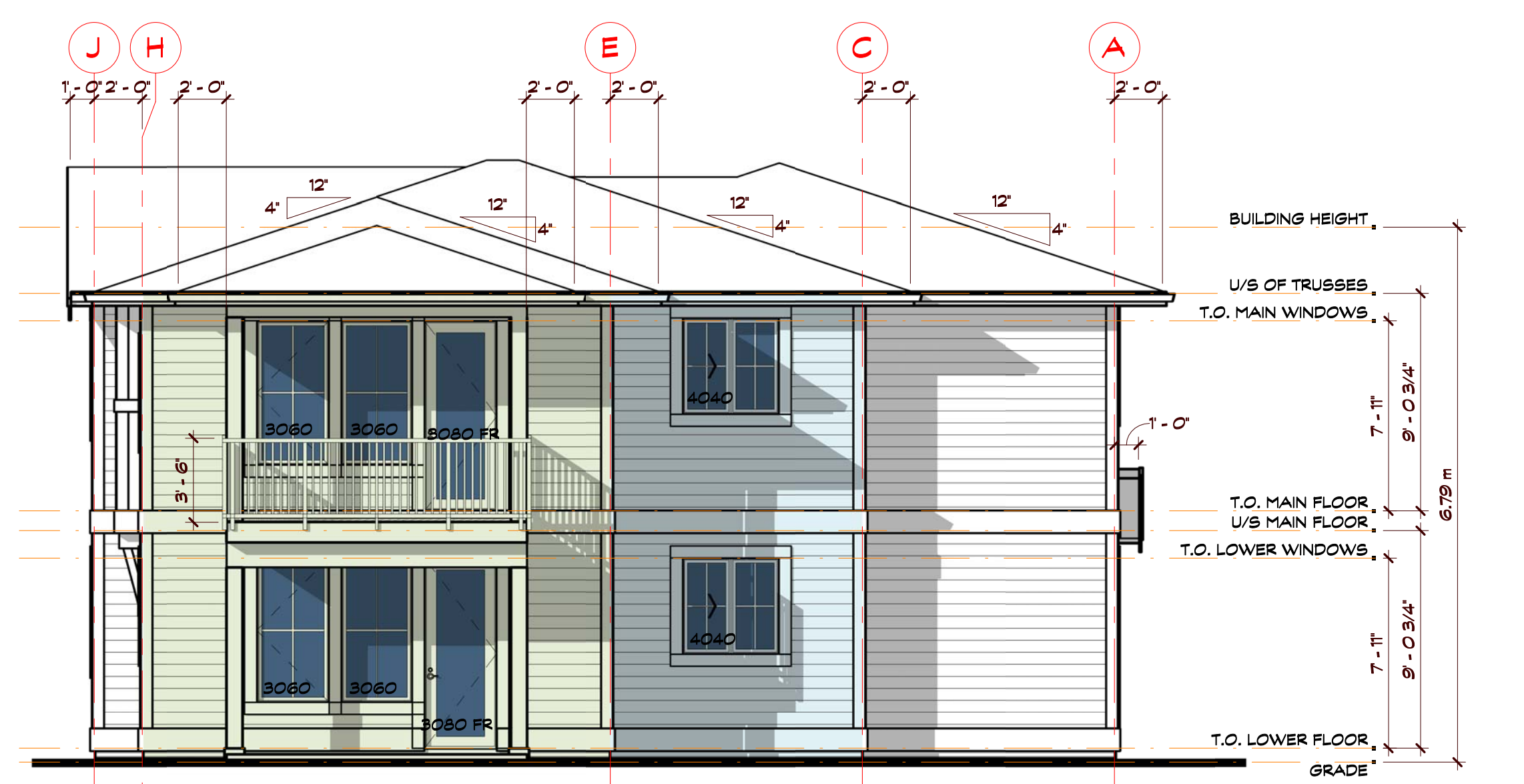


FRONT ELEVATION
3/16" = 1'-0"

- 30yr PROFILED FIBERGLASS LAMINATE SHINGLE ROOF
- 5' PRE-FINISHED GUTTER ON 2x8 SUBFASCIA
- HARDIE PANEL SIDING w/ 1x6 TRIMS AS SHOWN
- 2x6 CORNER TRIMS
- HORIZONTAL VINYL SIDING
- CHARCOAL VINYL FRAMED WINDOWS w/ MUNTINS AND MULLIONS AS SHOWN
- 2x6 TRIMS AROUND EXTERIOR OPENINGS
- 1/4" ON 2x10 FASCIA BOARDS ON GABLE ENDS
- METAL FLASHING & CAP ON WALL FEATURE
- 2x12 BARGE BOARDS WHERE SHOWN



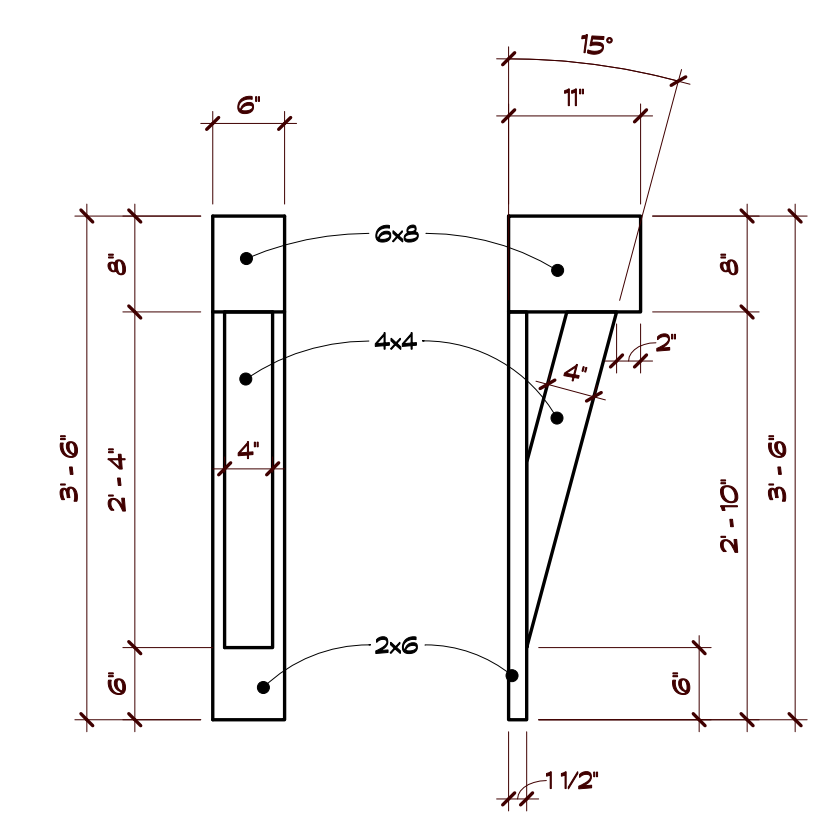
RH SIDE ELEVATION
3/16" = 1'-0"



REAR ELEVATION
3/16" = 1'-0"

| WALL FACING | WALL | | COMPARTMENT FACE | | LIMITING DIST. | | UNPROTECTED OPENING | | | | | |
|--------------|-----------------|----------------|------------------|----------------|----------------|-------|---------------------|-----------------|----------------|----------|-----------------|----------------|
| | TOTAL WALL FACE | | TOTAL WALL FACE | | ft | m | ALLOWED | | | PROPOSED | | |
| | ft ² | m ² | ft ² | m ² | | | % | ft ² | m ² | % | ft ² | m ² |
| FRONT | 830.08 | 77.12 | 830.08 | 77.12 | 52.46 | 15.99 | 100.00 | 830.08 | 77.12 | 13.01% | 108 | 10.03 |
| LH SIDE | 639.11 | 59.38 | 639.11 | 59.38 | 3.94 | 1.20 | 7.00 | 44.74 | 4.16 | 5.01% | 32 | 2.97 |
| RH SIDE | 791.02 | 73.49 | 791.02 | 73.49 | 41.44 | 12.63 | 100.00 | 791.02 | 73.49 | 14.47% | 114.5 | 10.64 |
| REAR (GREEN) | 791.02 | 73.49 | 380.86 | 35.38 | 18.73 | 5.71 | 31.68 | 120.66 | 11.21 | 31.51% | 120 | 11.15 |
| REAR (BLUE) | 791.02 | 73.49 | 205.08 | 19.05 | 15.42 | 4.70 | 23.60 | 48.40 | 4.50 | 15.60% | 32 | 2.97 |

NOTES: UPO CALCULATIONS BASED ON TABLE 9.10.15.4; INSIDE 10min RESPONSE AREA



TYP. BRACKET DETAIL
3/4" = 1'-0"

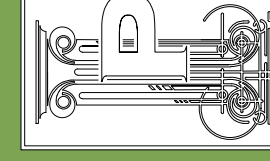
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Purpose Developments

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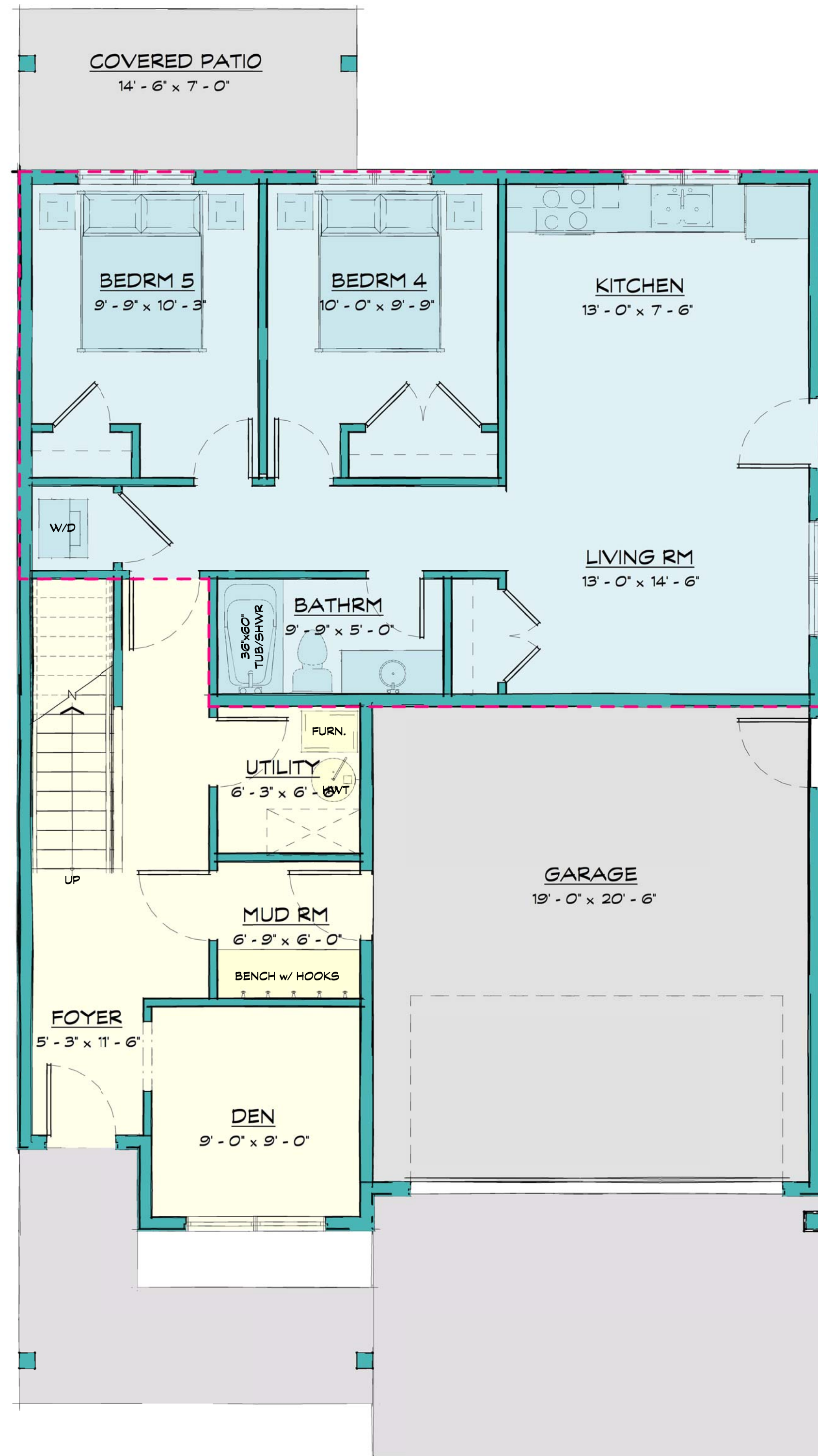
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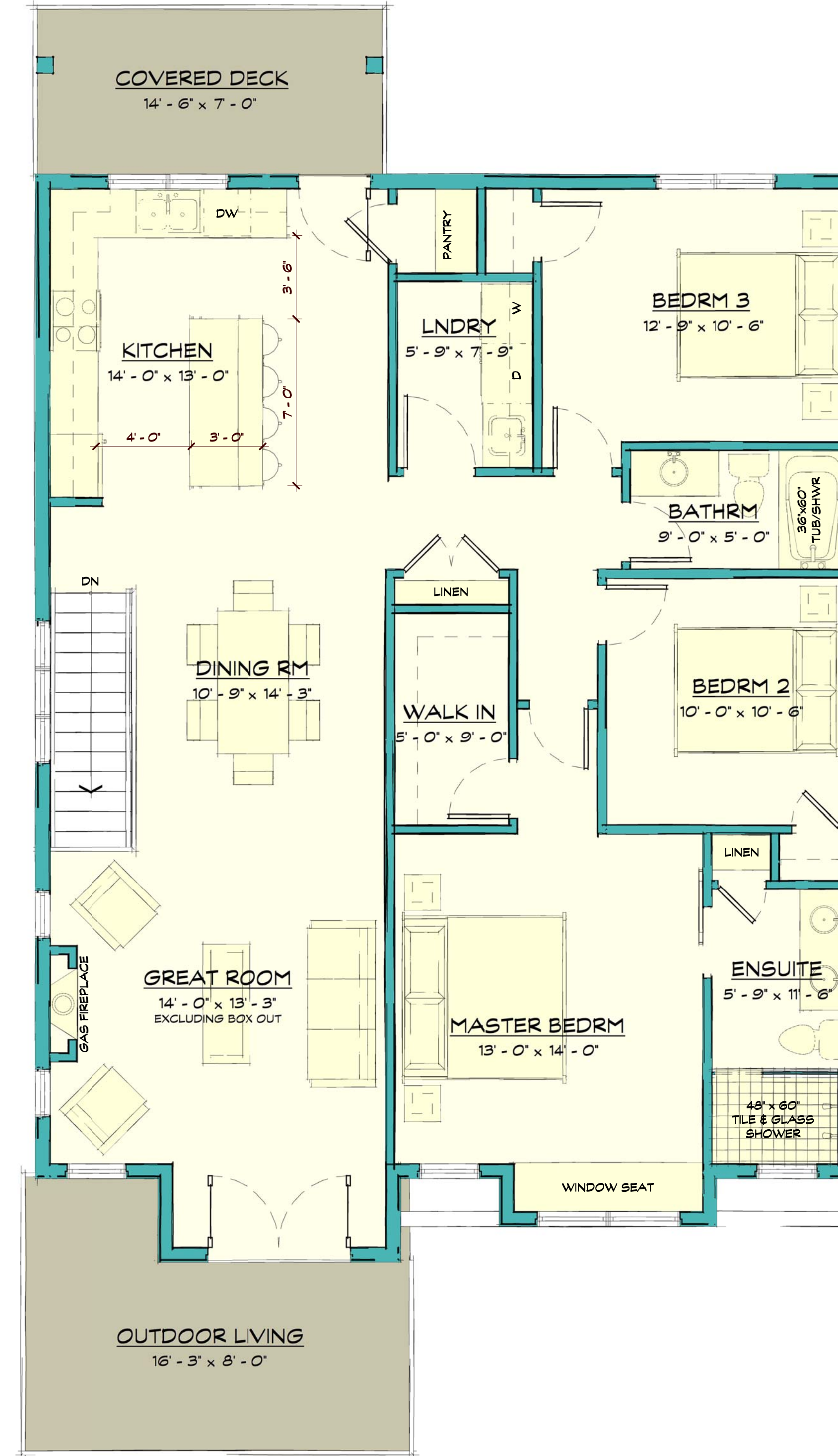


got questions?



LOWER FLOOR PLAN

- 745 ft² • SUITE FLOOR AREA
- 375 ft² • FOYER/MUD RM/LAUNDRY AREA, INCLUDING UTILITY RM
- 1120 ft² • TOTAL LOWER FLOOR AREA, EXCLUDING GARAGE

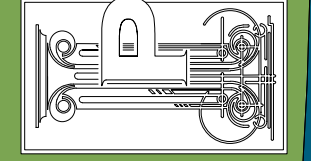


MAIN FLOOR PLAN

- 1120 ft² • FINISHED LOWER FLOOR AREA, INCLUDING SUITE & STAIRS, EXCLUDING GARAGE
- 1460 ft² • FINISHED MAIN FLOOR AREA, EXCLUDING STAIRS
- 2580 ft² • TOTAL FLOOR AREA



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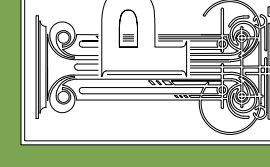
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Project: PN3877
Jan. 21, 2021



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Project: PN3877
Jan. 21, 2021

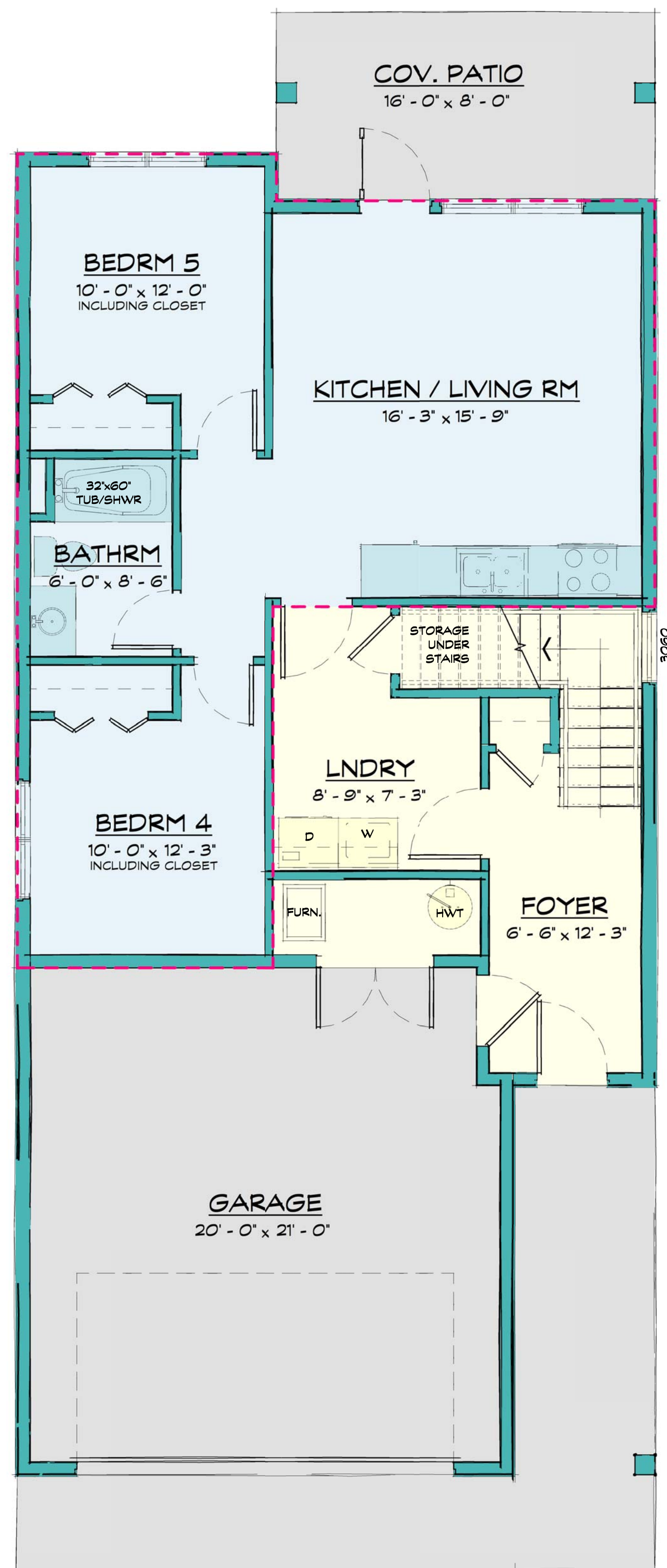
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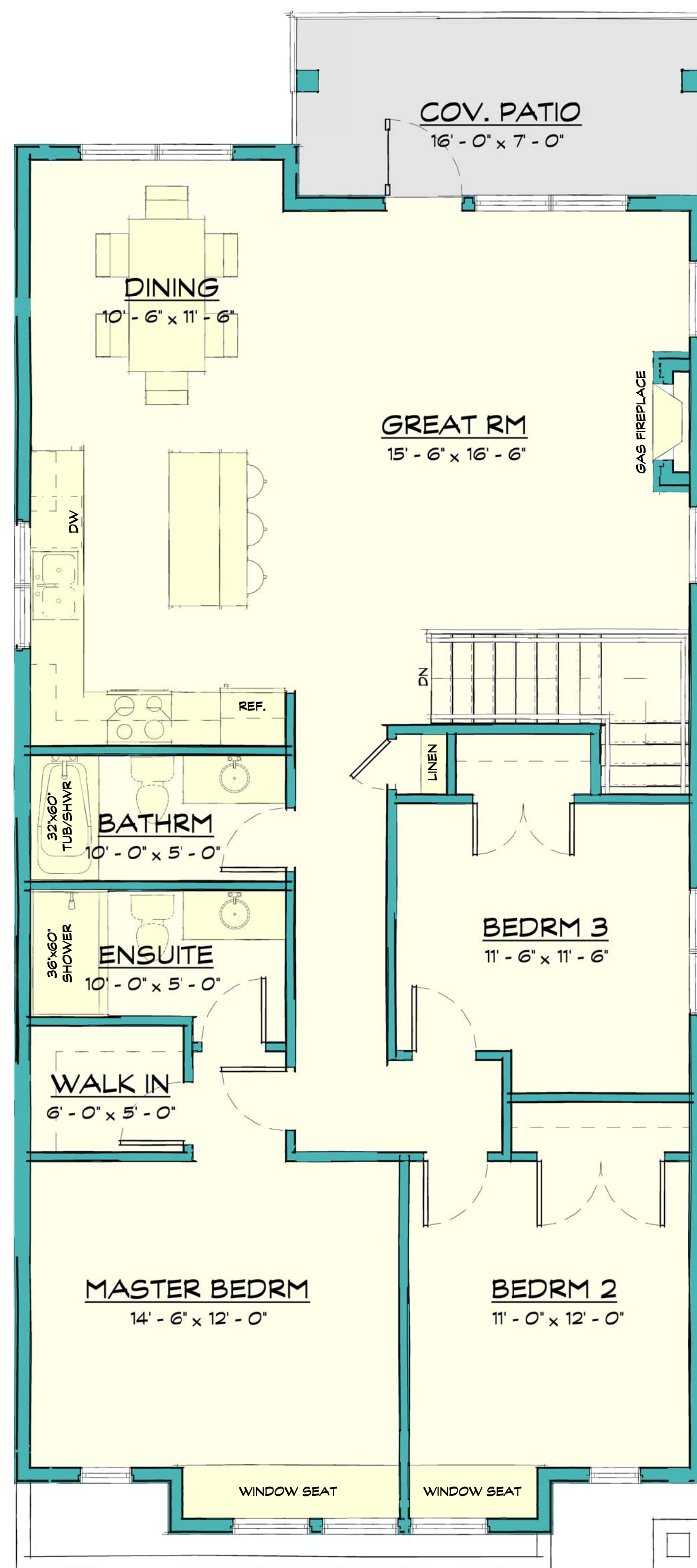
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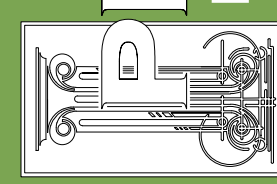
LOWER FLOOR PLAN

- 650 ft² • SUITE FLOOR AREA
- 285 ft² • LOWER FLOOR AREA, INCLUDING STAIRS
- 935 ft² • TOTAL LOWER FLOOR AREA, INCLUDING STAIRS & SUITE, EXCLUDING GARAGE



MAIN FLOOR PLAN

- 1,365 ft² • MAIN FLOOR AREA, EXCLUDING STAIRS
- 935 ft² • LOWER FLOOR AREA, INCLUDING STAIRS & SUITE, EXCLUDING GARAGE
- 2,300 ft² • TOTAL FLOOR AREA

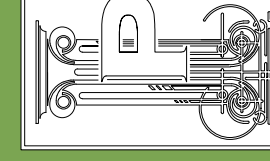




Purpose Developments

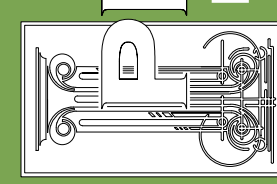
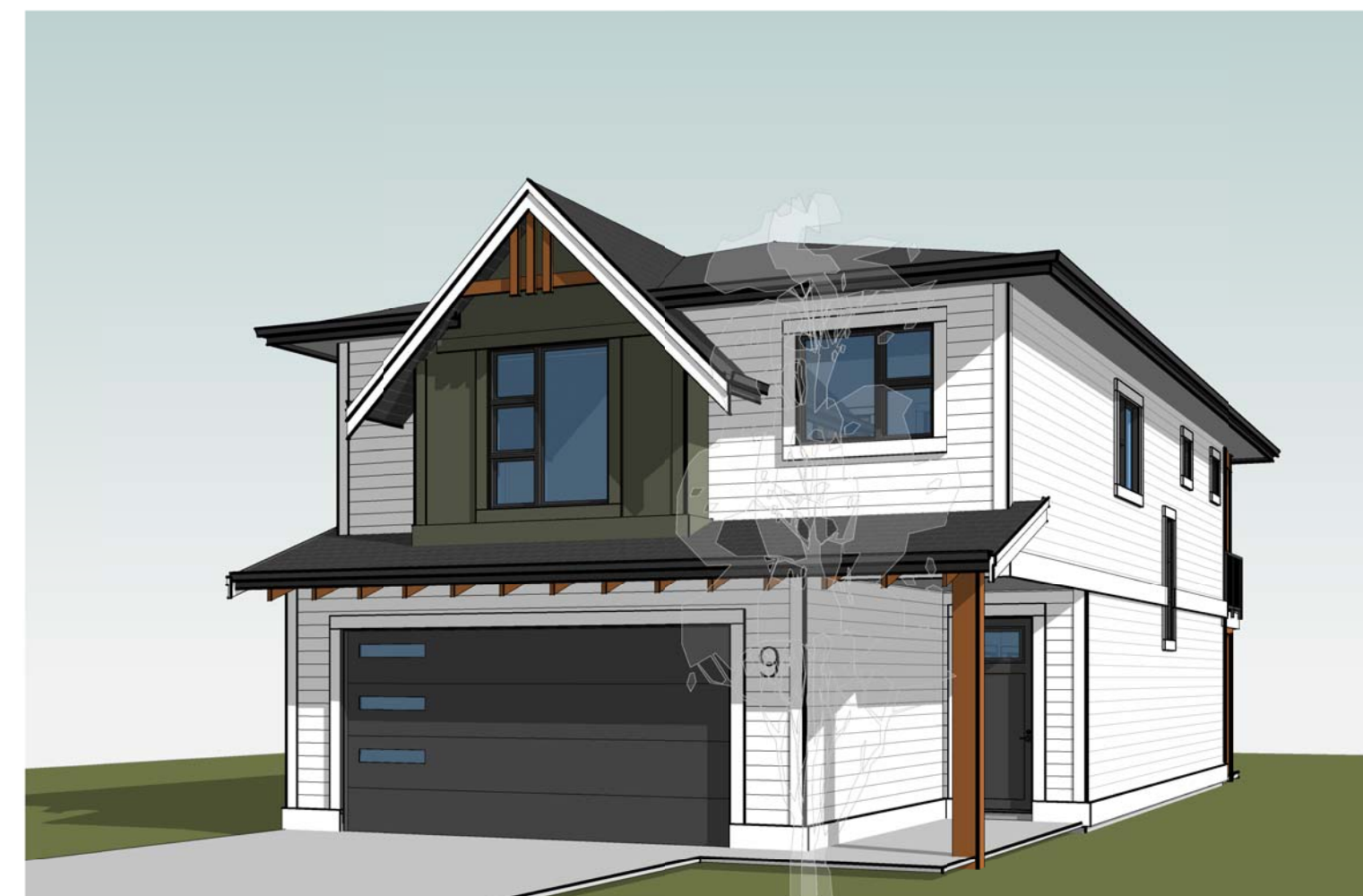
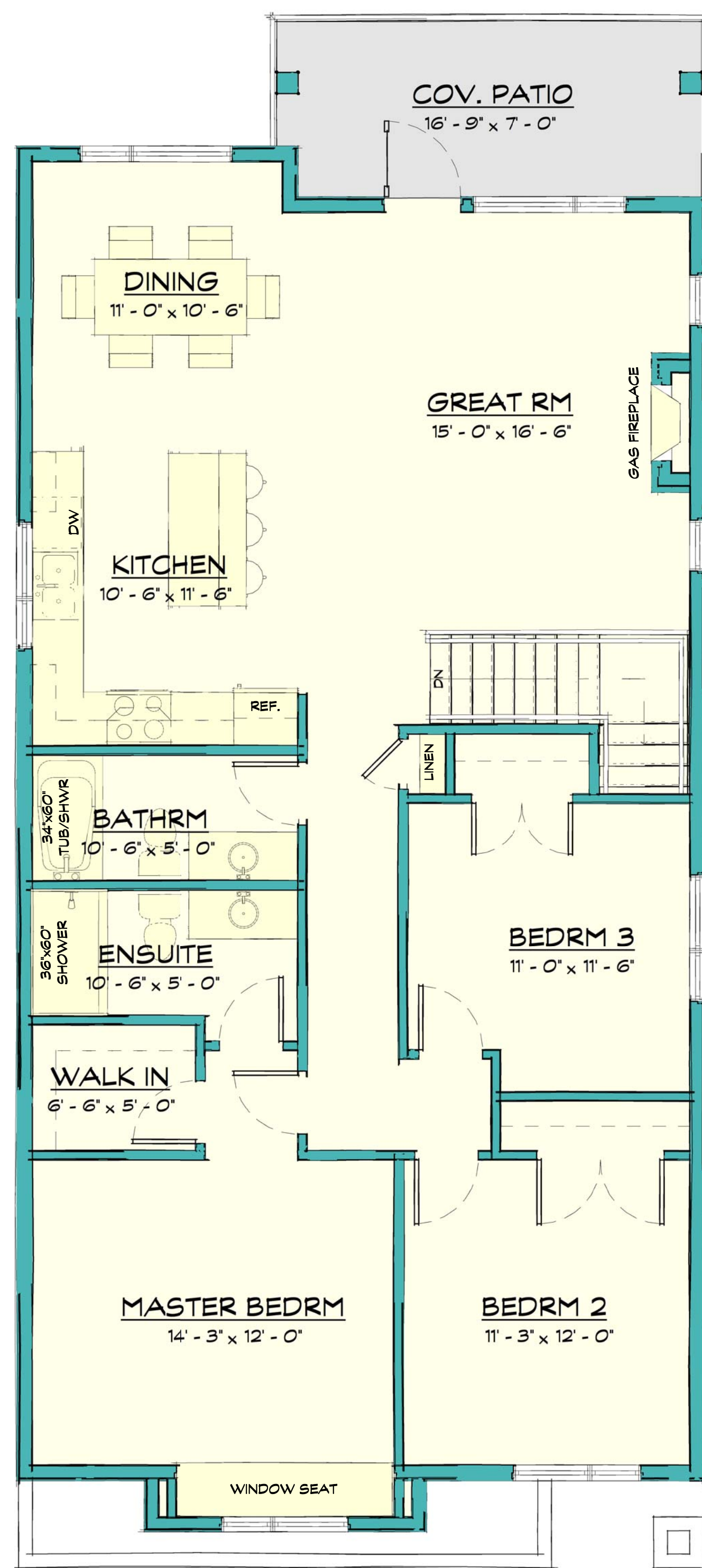
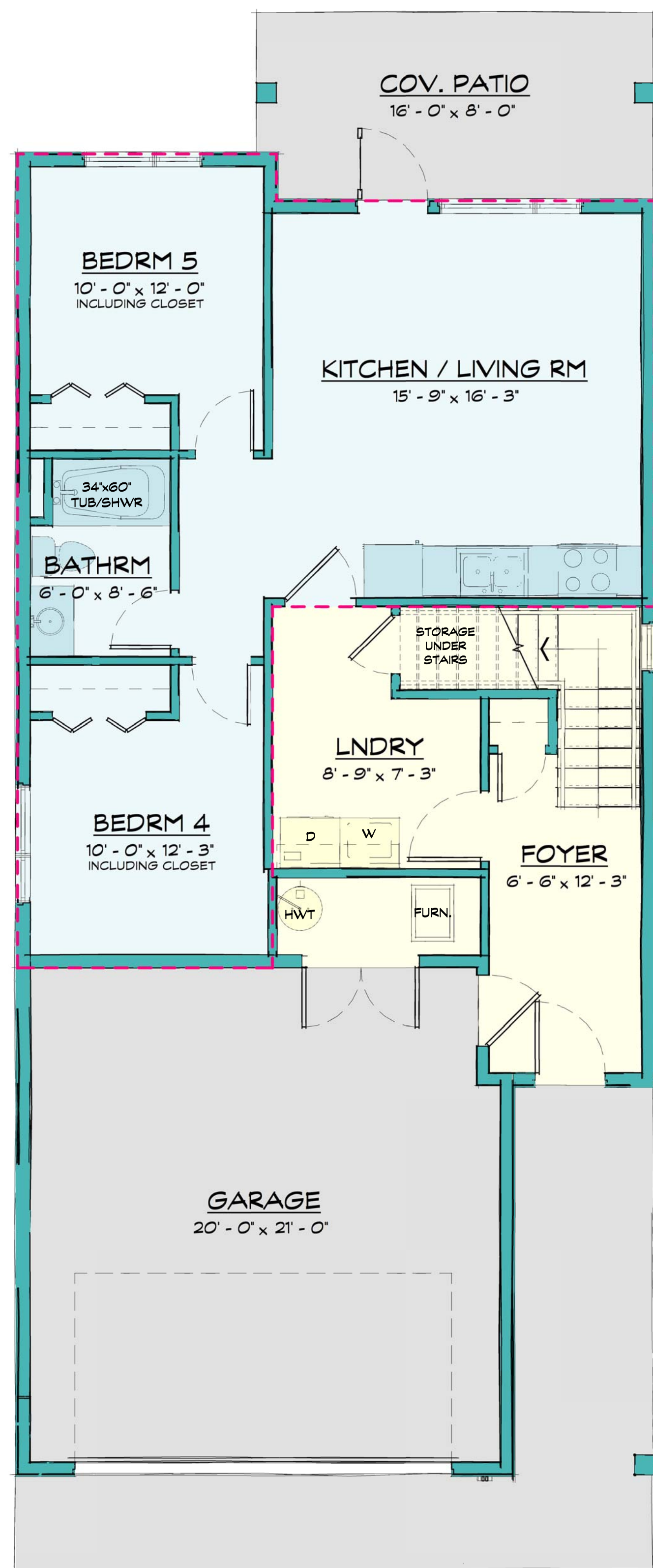
Lot 9 - Beacon Rd, Hope B.C.
Project: PN3877
Jan. 21, 2021

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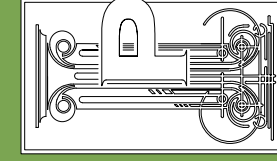




Purpose Developments

Lot 10 - Beech Ave., Hope, B.C.
Project: PN3877
Jan. 21, 2021

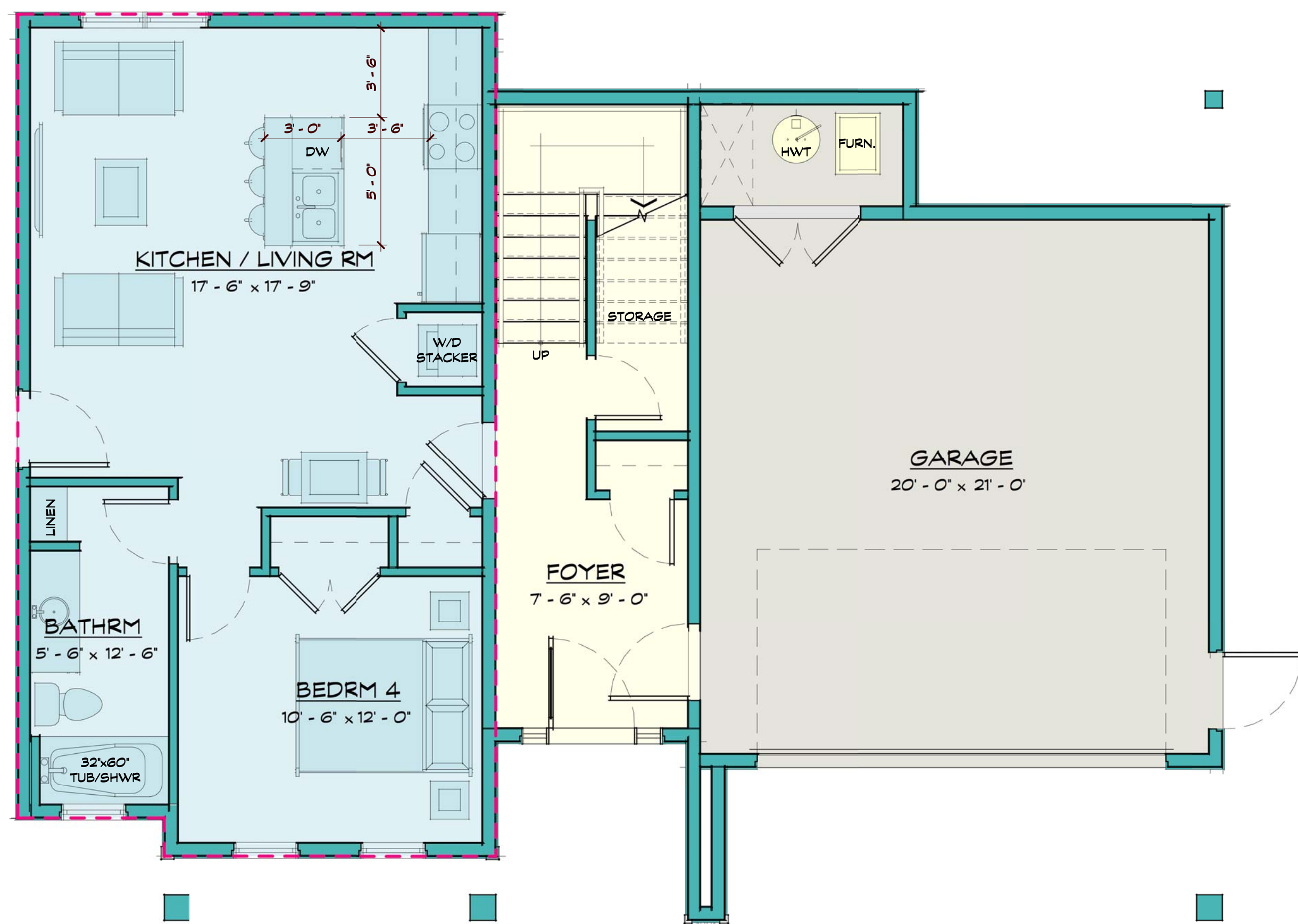
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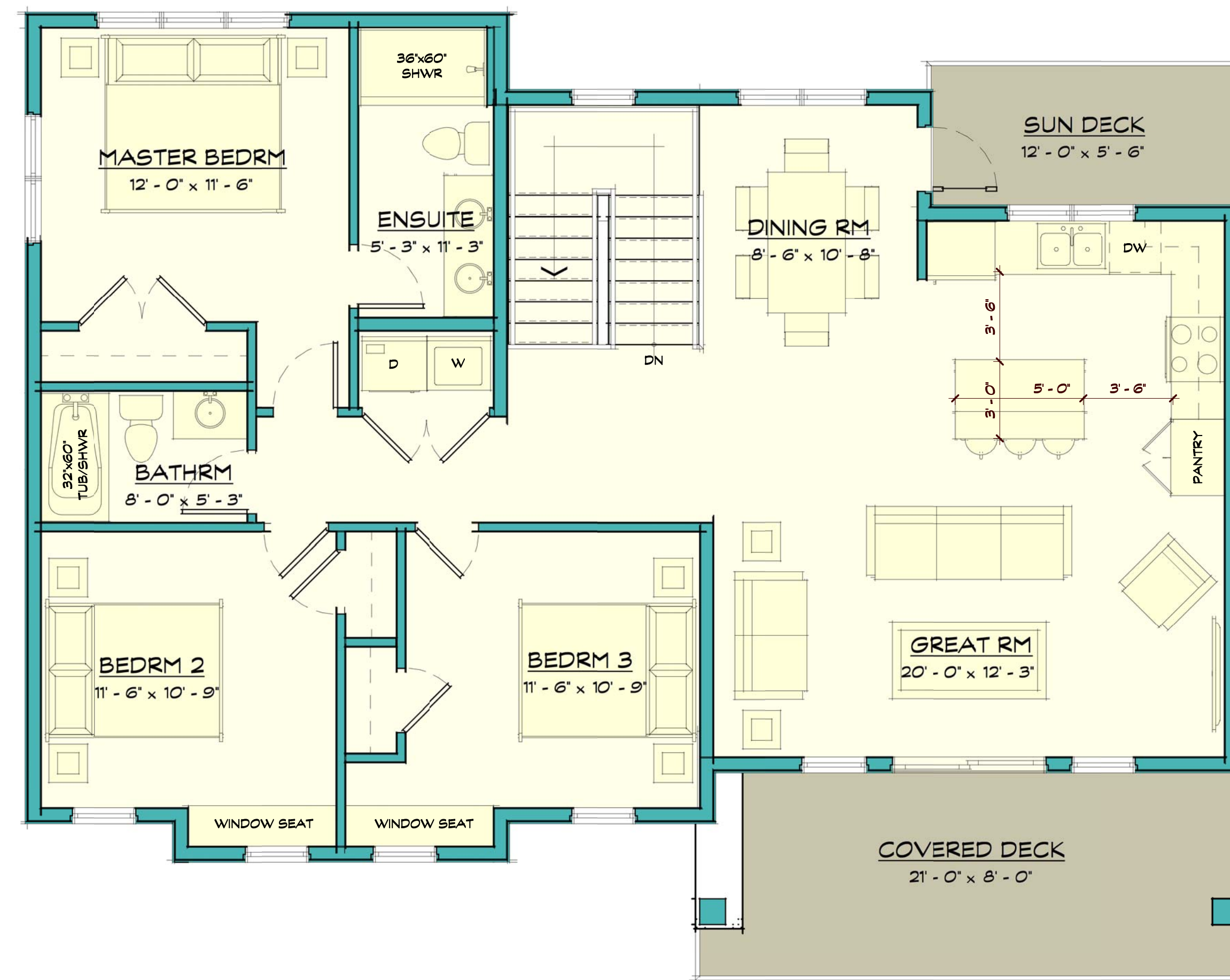
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LOWER FLOOR PLAN

1/4" = 1'-0"

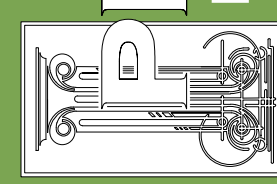
| | |
|---------------------|--|
| 610 ft ² | SUITE AREA |
| 205 ft ² | ENTRY / STAIR AREA |
| 815 ft ² | TOTAL LOWER FLOOR AREA, INCLUDING STAIRS, EXCLUDING GARAGE & UTILITY |



MAIN FLOOR PLAN

1/4" = 1'-0"

| | |
|----------------------|--|
| 1250 ft ² | MAIN FLOOR AREA, EXCLUDING STAIRS |
| 815 ft ² | LOWER FLOOR AREA, INCLUDING STAIRS, EXCLUDING GARAGE & UTILITY |
| 2065 ft ² | TOTAL FINISHED FLOOR AREA + 145 ft ² DECK |





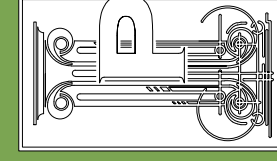
Purpose Developments

Homesite 11 - 63876 Beacon Road, Chilliwack, B.C.

Project: PN3877

Feb. 9, 2021

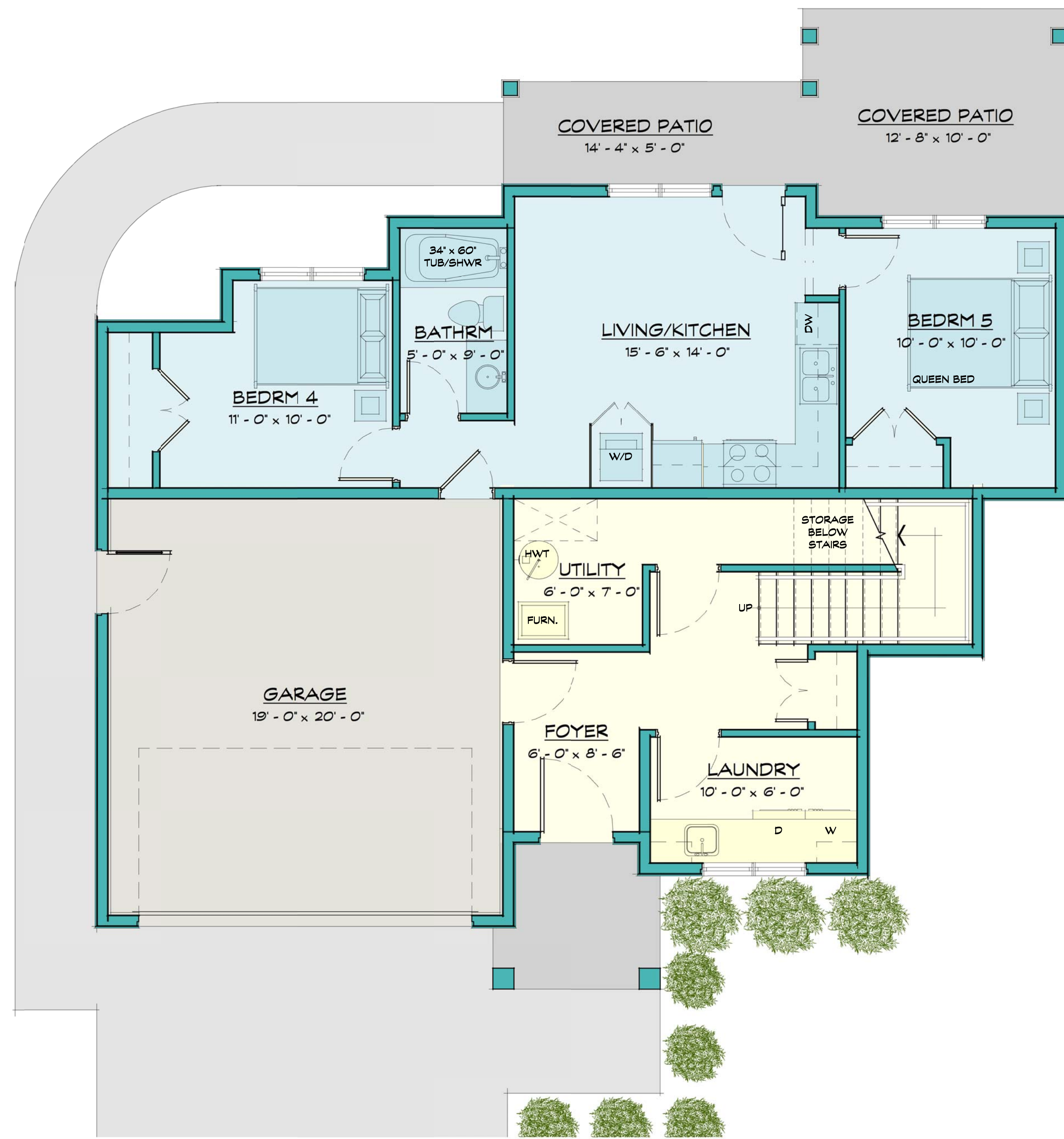
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LOWER FLOOR PLAN

1/4" = 1'-0"
 600 ft²
 350 ft²
 950 ft²


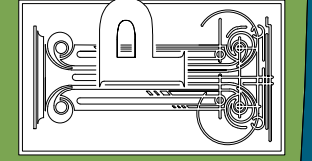
- FINISHED SUITE FLOOR AREA
- FINISHED LOWER FLOOR AREA (INCLUDING STAIRS, EXCLUDING GARAGE)
- TOTAL FINISHED LOWER FLOOR AREA



MAIN FLOOR PLAN

1/4" = 1'-0"
 1,250 ft²
 950 ft²
 2,200 ft²

- FINISHED MAIN FLOOR AREA (EXCLUDING STAIRS)
- FINISHED LOWER FLOOR AREA (INCLUDING STAIRS, EXCLUDING GARAGE)
- TOTAL FINISHED FLOOR AREA

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Purpose Developments
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 Project: PN3877
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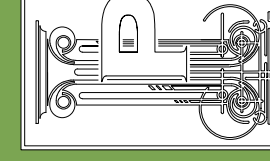
Purpose Developments

Homesite 13 - 63856 Beech Ave., Chilliwack, B.C.

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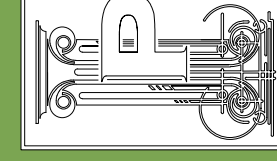
Purpose Developments

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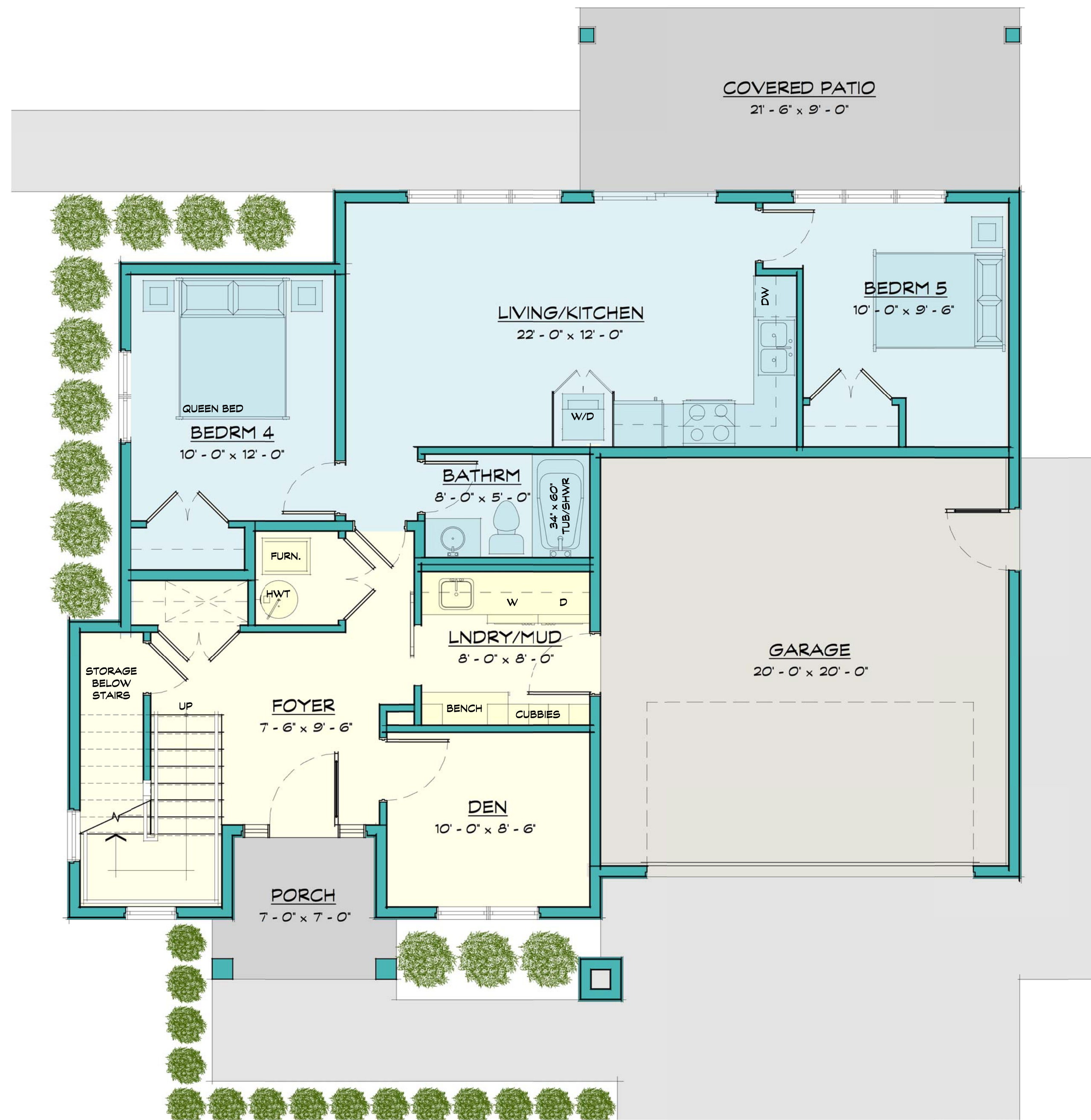


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LOWER FLOOR PLAN

1/4" = 1'-0"

- 650 ft² • FINISHED SUITE FLOOR AREA
- 420 ft² • FINISHED LOWER FLOOR AREA (INCLUDING STAIRS, EXCLUDING GARAGE)
- 1,070 ft² • TOTAL FINISHED LOWER FLOOR AREA



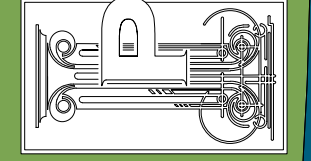
MAIN FLOOR PLAN

1/4" = 1'-0"

- 1,370 ft² • FINISHED MAIN FLOOR AREA (EXCLUDING STAIRS)
- 1,070 ft² • FINISHED LOWER FLOOR AREA (INCLUDING STAIRS, EXCLUDING GARAGE)
- 2,440 ft² • TOTAL FINISHED FLOOR AREA



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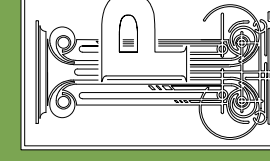
Purpose Developments

Lot 14 - Cypress St., Hope, B.C.

Project: PN3877

Jan. 21, 2021

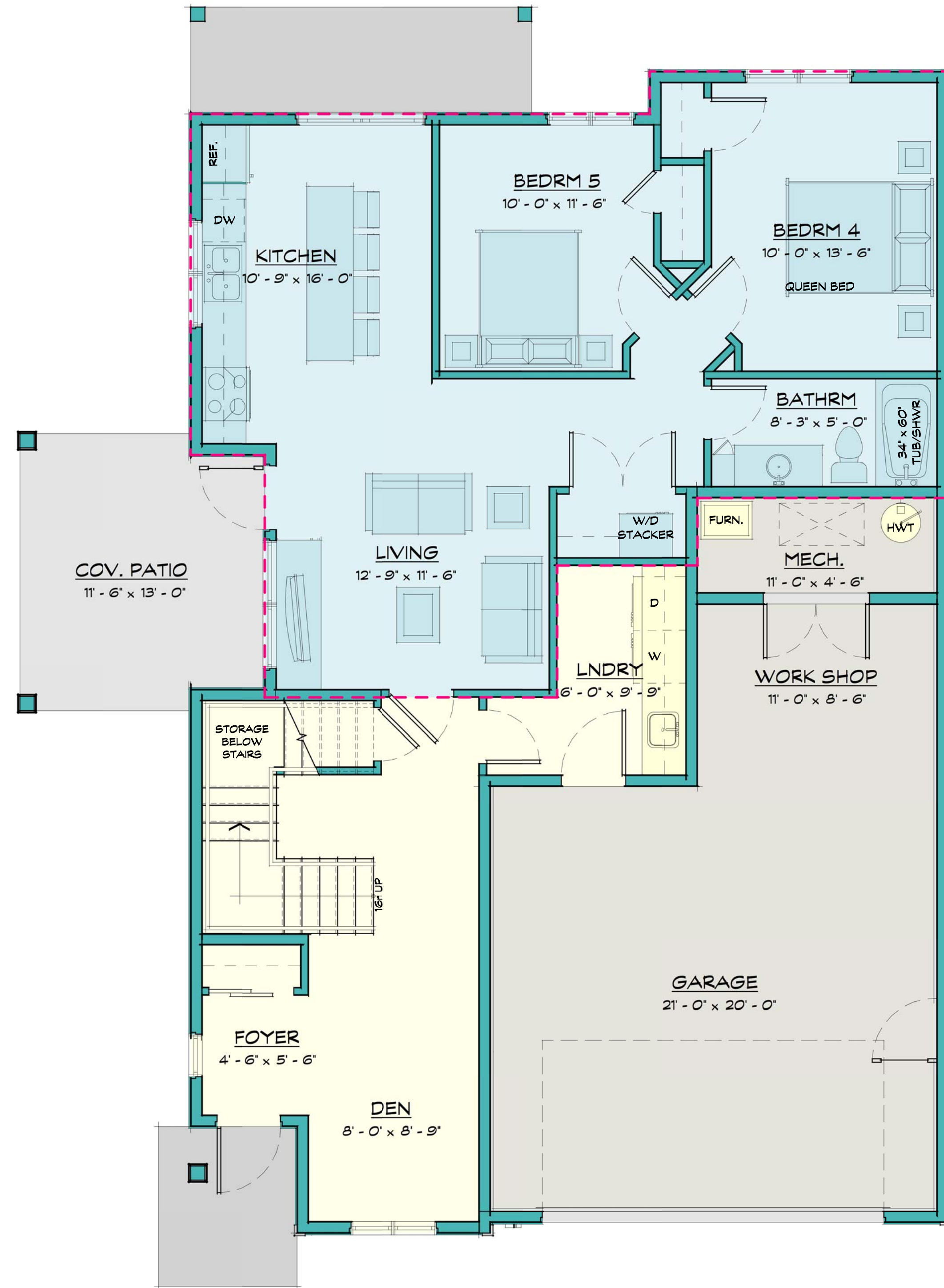
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LOWER FLOOR PLAN

- 810ft² • SUITE FLOOR AREA
- 410ft² • LOWER FLOOR AREA, INCLUDING STAIRS
- 1220ft² • TOTAL LOWER FLOOR AREA, INCLUDING STAIRS, EXCLUDING GARAGE

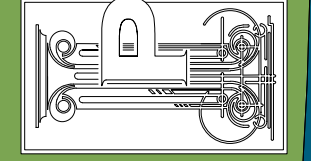


MAIN FLOOR PLAN

- 1,395 ft² • MAIN FLOOR AREA, EXCLUDING STAIRS
- 1,220 ft² • LOWER FLOOR AREA, INCLUDING STAIRS & SUITE, EXCLUDING GARAGE, WORKSHOP & MECH.
- 2,615 ft² • TOTAL FLOOR AREA



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Lot 14 - Cypress St., Hope, B.C.
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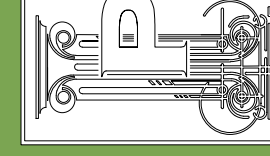
Purpose Developments

Lot 15, Cypress Street, Hope, B.C.

Project: PN3877

Jan. 21, 2021

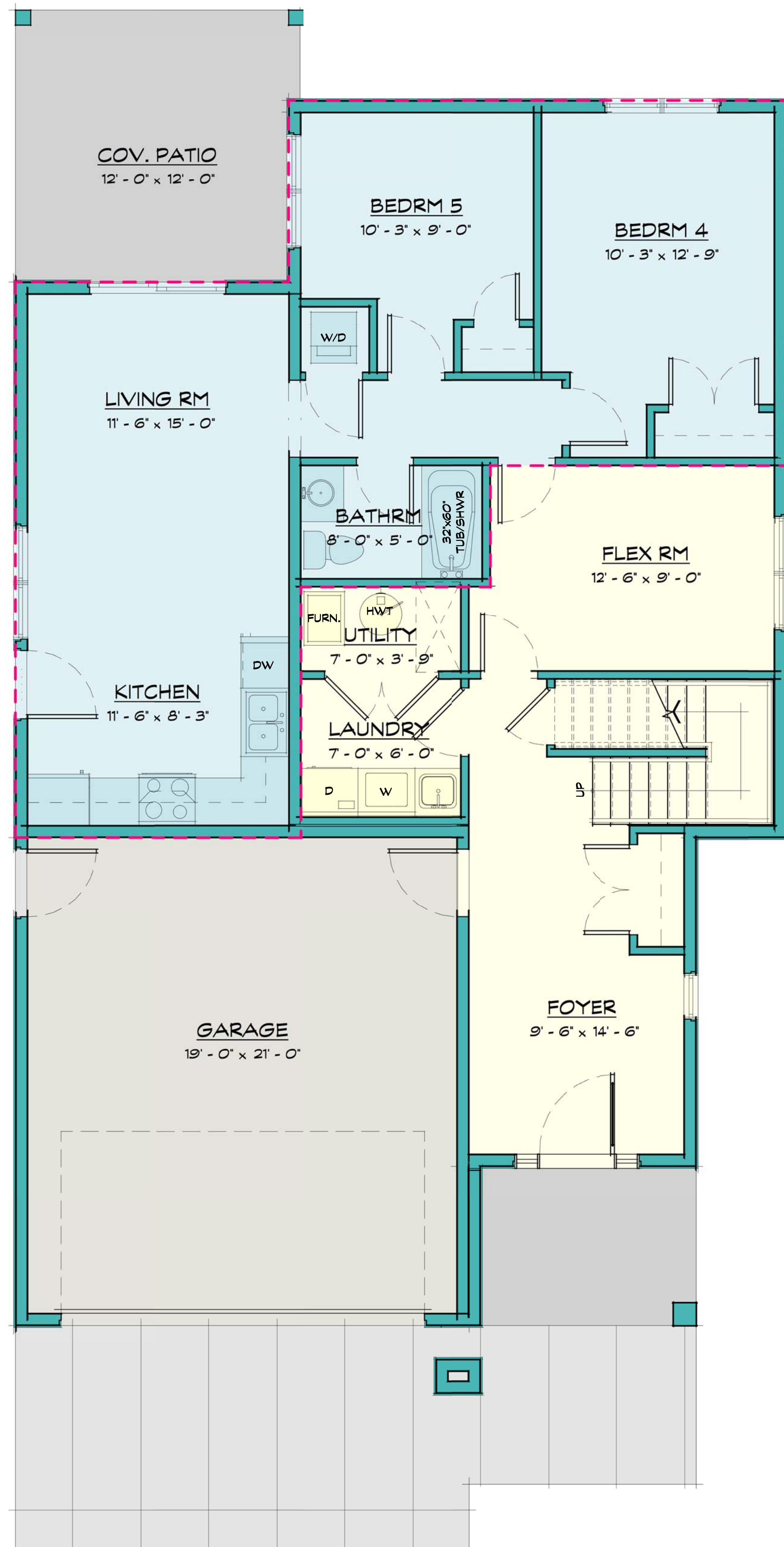
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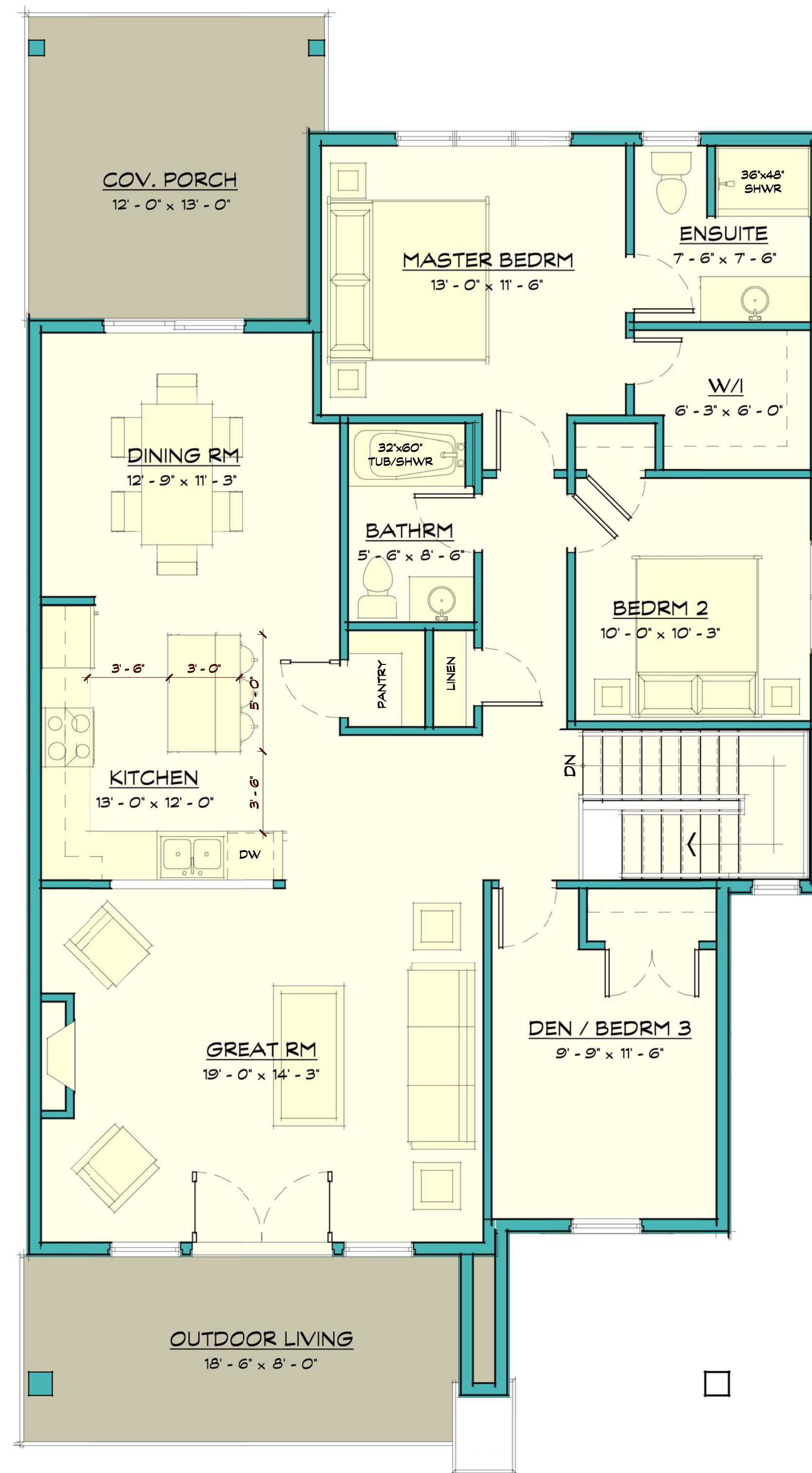
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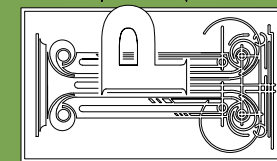
LOWER FLOOR AREA

| | |
|----------------------|--|
| 700 ft ² | SUITE FLOOR AREA |
| 460 ft ² | LOWER FLOOR AREA, INCLUDING STAIRS, EXCLUDING GARAGE |
| 1160 ft ² | TOTAL FINISHED LOWER FLOOR AREA |



MAIN FLOOR AREA

| | |
|----------------------|--|
| 1395 ft ² | MAIN FLOOR AREA, EXCLUDING STAIRS |
| 1160 ft ² | LOWER FLOOR AREA, INCLUDING STAIRS, EXCLUDING GARAGE |
| 2555 ft ² | TOTAL FINISHED FLOOR AREA |





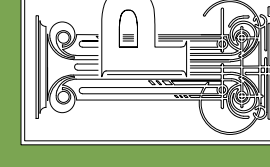
Purpose Developments

Lot 16, Cypress Street, Hope, B.C.

Project: PN3877

Jan. 21, 2021

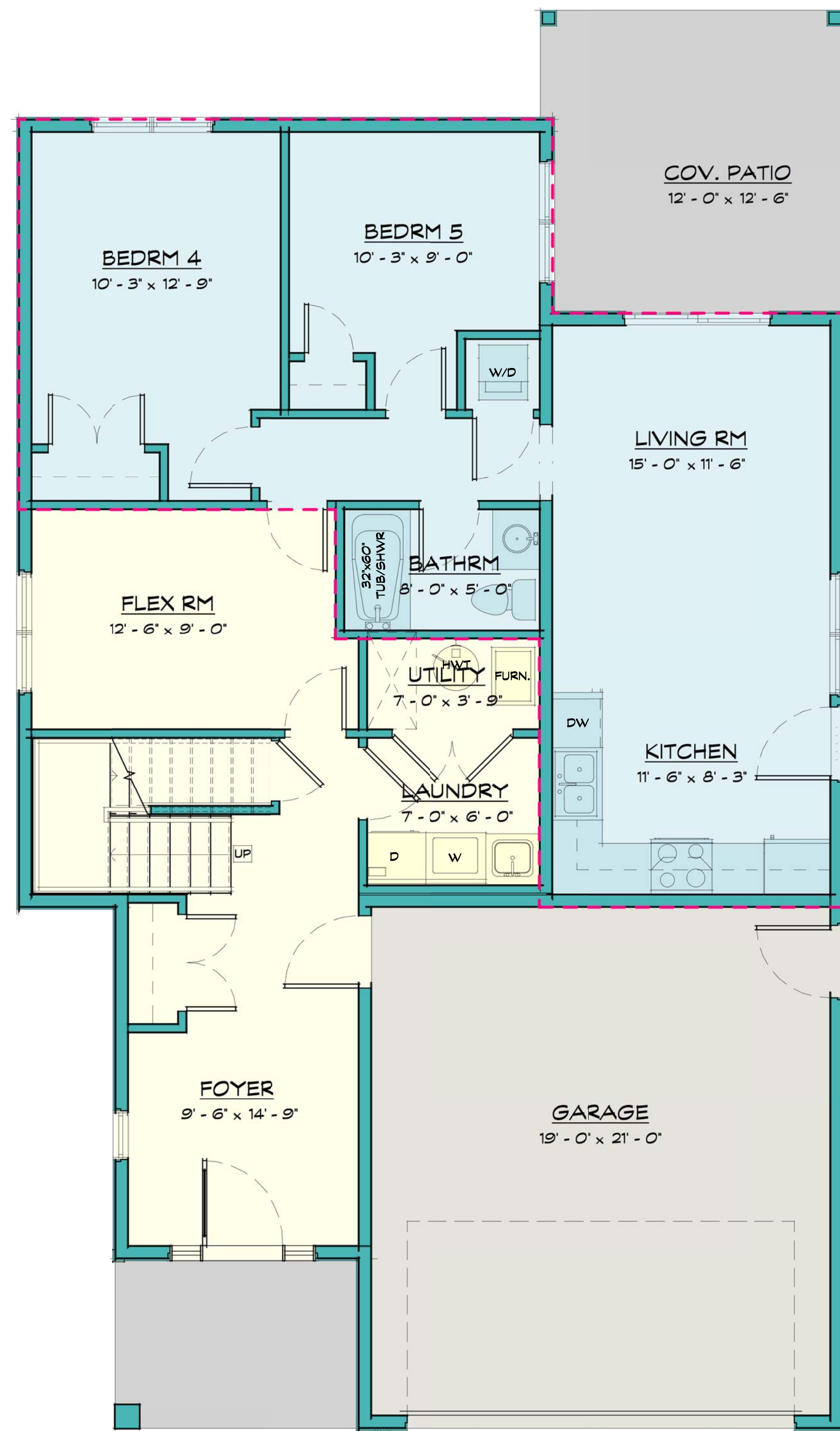
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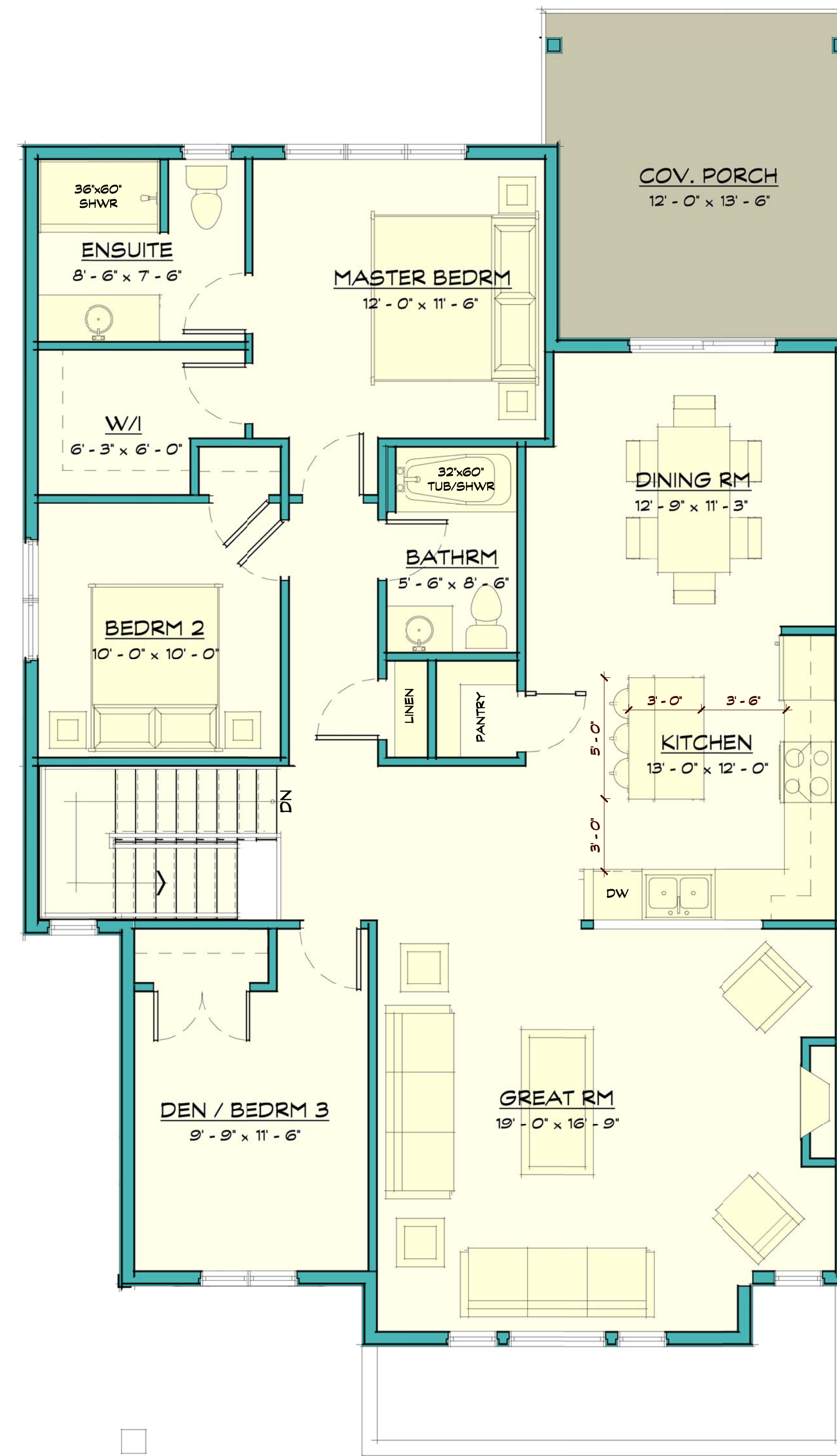


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LOWER FLOOR AREA

| | |
|----------------------|--|
| 700 ft ² | SUITE FLOOR AREA |
| 460 ft ² | LOWER FLOOR AREA, INCLUDING STAIRS, EXCLUDING GARAGE |
| 1160 ft ² | TOTAL FINISHED LOWER FLOOR AREA |

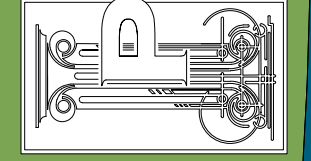


MAIN FLOOR AREA

| | |
|----------------------|--|
| 1415 ft ² | MAIN FLOOR AREA, EXCLUDING STAIRS |
| 1160 ft ² | LOWER FLOOR AREA, INCLUDING STAIRS, EXCLUDING GARAGE |
| 2575 ft ² | TOTAL FINISHED FLOOR AREA |



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